



2023 Development Review Application

City staff contact: Dan Olson
 763-531-1142
dan.olson@crystalmn.gov
 4141 Douglas Dr N Crystal MN 55422
www.crystalmn.gov

1. Property Address for this application: 5208 Hanson Court N, Crystal, MN 55429

2. Property Identification Number (PID): 5208 Hanson Court N, Crystal, MN 55429

3. Applicant:

Name: Jeff Quinn			
Street: 18015 17th Ave N	City: Plymouth	State: MN	Zip: 55447
Telephone: 763-670-3352			
Email: jeff@farr.plumbing			

4. Property Owner:

- Same as the Applicant (if so, you don't need to complete this section)
- Different from the Applicant (complete this section)

Name:			
Street:	City:	State:	Zip:
Telephone:			
Email:			

5. Project name and description:

Project Name: Farr Plumbing - Proposed Warehouse Project
Project Description: Lot consolidation of two properties. Construction of a proposed warehouse building with six units. Construction of property access, parking, drainage facilities, proposed stormwater BMP, utility connections to existing City utilities.

6. Project contact (the applicant shall designate one contact person for the application):

Name: Bill Becklin	Role in Project: Project Manager
Company: Becklin & Whitney Consulting Engineers	
Street: 139 1st Ave E Suite 200	City: Cambridge State: MN Zip: 55008
Business Telephone: 763-689-5631	
Email: bill.becklinwhitney@gmail.com	

7. Additional design/engineering professional (if applicable):

Name: Frank Brodeen	Role in Project: Civil Engineer
Company: Widseth	
Street: 5638 266th St	City: Wyoming State: MN Zip: 55092
Business Telephone: 651-358-2345	
Email: frank.brodeen@widseth.com	

8. Application type: A complete development review application includes the following:

- Completed and signed development review application form
- Completed and signed escrow form (if applicable - see list of application types below)
- Completed application checklist for each respective type of application (see list below)
- Payment of application fee for each respective type of application (see list below)

<u>Type of application</u> (check all that apply):	<u>Application fee</u> (nonrefundable): [1]
<input type="checkbox"/> Adjacent Parcel Land Conveyance	\$220 + \$220 escrow
<input type="checkbox"/> Administrative Appeal	\$220
<input type="checkbox"/> Comprehensive Plan Amendment	\$660 + \$660 escrow
<input type="checkbox"/> Conditional Use Permit	\$660 + \$660 escrow [2]
<input checked="" type="checkbox"/> Lot consolidation	\$440 + \$440 escrow
<input type="checkbox"/> Rezoning to Planned Development	\$1,320 + \$1,320 escrow
<input checked="" type="checkbox"/> Site Plan	\$660 + \$330 escrow
<input type="checkbox"/> Subdivision	\$660 + \$66 per lot over 2, + \$660 escrow
<input type="checkbox"/> Vacation of a public street or easement	\$550 + \$550 escrow
<input type="checkbox"/> Variance	\$550 + \$275 escrow
<input type="checkbox"/> Zoning Certificate	\$110 [2]
<input type="checkbox"/> Zoning Map or Text Amendment	\$660 + \$660 escrow
Total fee: <u>\$1,100</u> + \$770 escrow	

[1]: The escrow fee will first be applied to cover County recording fees and legal fees related to the review of documents associated with the application. For telecommunication towers, the escrow fee will also be applied to engineering review expenses. The remaining escrow fee will be returned to the applicant.

[2]: The fee for a telecommunication tower is \$2,000, plus a \$10,000 escrow

Notice: Review of a development application and the decision to approve, approve with modifications, or deny the application will be based on the standards and criteria found in the Crystal Comprehensive Plan, Unified Development Code and any other applicable governmental codes, guidelines, standards or policies necessary to safeguard public health, safety, aesthetics, and general welfare. Approval of this application does not absolve the applicant from obtaining all other applicable permits, such as stormwater or building permits.

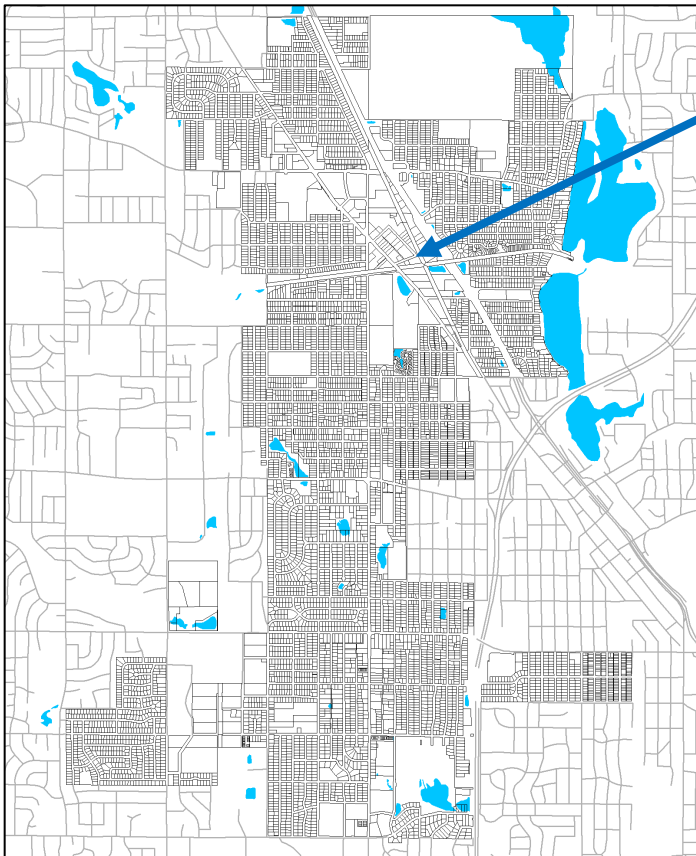
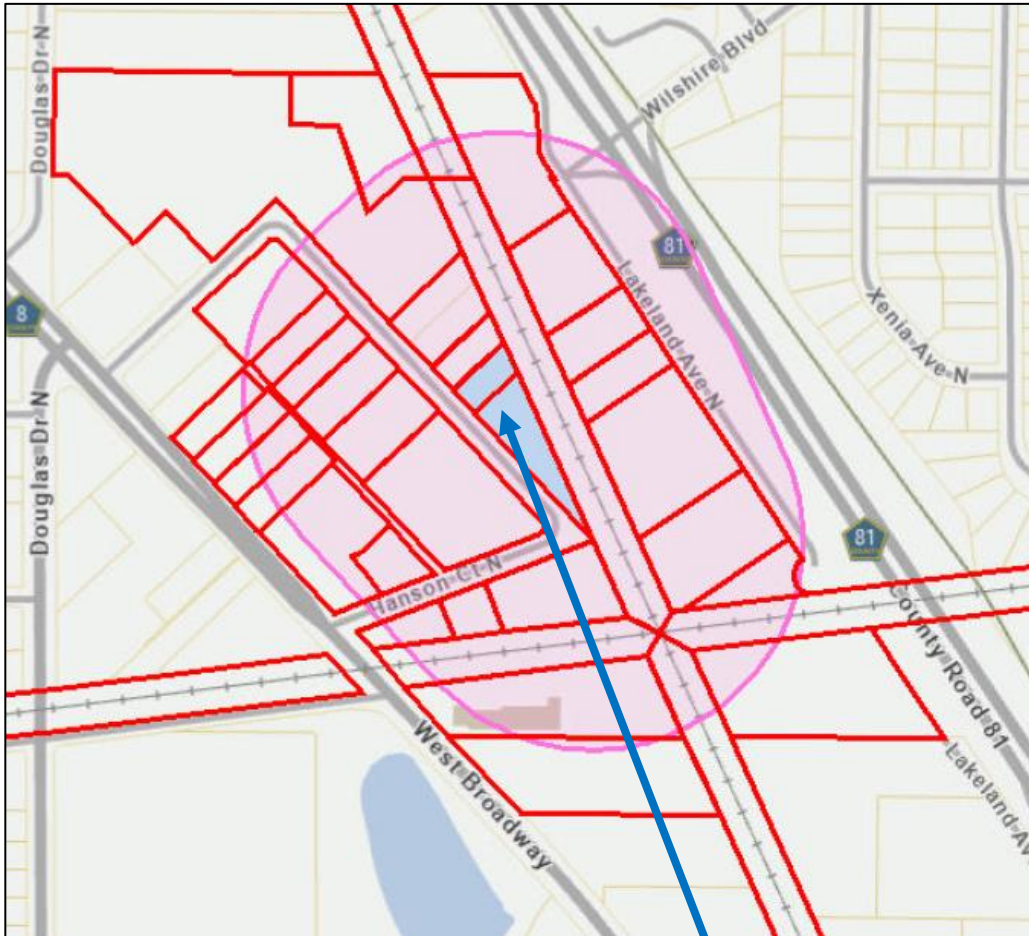
I (We) certify that I (we) have submitted all the required information to apply for consideration of a development review application and the information is factually correct and accurate.

Jeff Quinn _____ Date: 2/13/2023
 Signature of Applicant

 Signature of Property Owner (if different from Applicant) Date: _____

FOR OFFICE USE ONLY:		Accounting # 0100.4418
Application #	<u>2023-02</u>	Receipt # <u>169052</u> Date Received <u>2/14/2023</u>
Acknowledgement letter sent	___/___/___	If application incomplete, was 60-day rule language included? _____
Plan Comm hearing	___/___/___	City Council action ___/___/___ Approved? Yes ___ No ___ Other ___
NOTES: _____		

Site Location and Public Hearing Notice Mailing Map



5208-5216 Hanson Ct N



CITY of CRYSTAL

**4141 Douglas Dr. N.
Crystal MN 55422**

Farr Plumbing Proposed Warehouse Project – Site Plan Project Narrative

What is the zoning district for the property?

The existing property is zoned Industrial.

What is the existing use for the property?

The existing lots are vacant and not currently being used. The property at 5208 Hanson Court N previously had a residential single-family home that was demolished in recent years. Historical documents from the City of Crystal suggest that at one time, the property at 5216 Hanson Court N was used as “Crystal Auto Parts”.

What is the proposed use for the property?

The existing lots are proposed to be combined through a lot-consolidation. The proposed use for the property is a 6-unit warehouse building.

If applicable, describe how the existing adjacent residential uses will be protected from potential adverse effects of the proposed use?

The existing properties to the north and east of the project area both drain runoff onto the property. The site will be graded to collect all runoff from the property, and the runoff from the adjacent properties through a storm sewer system and proposed infiltration. This will prevent any adverse effects from a drainage perspective.

Describe how the proposed site plan provides safe conditions for pedestrians or motorists and prevents the dangerous arrangement or pedestrian and vehicular ways?

The proposed site plan includes ADA components to provide safe and accessible routes to the building from either the proposed sidewalk along the west side of the building, or the proposed accessible parking spot and access aisle along the south side of the building. The vehicular ways through the site will be striped/delineated, separating truck traffic and passenger car traffic for safe maneuvering as well. See the site plan for more details.

Have any use-specific standards for the proposed use been addressed?

Not applicable.

FARR PLUMBING - PROPOSED WAREHOUSE BUILDING

CRYSTAL, MN



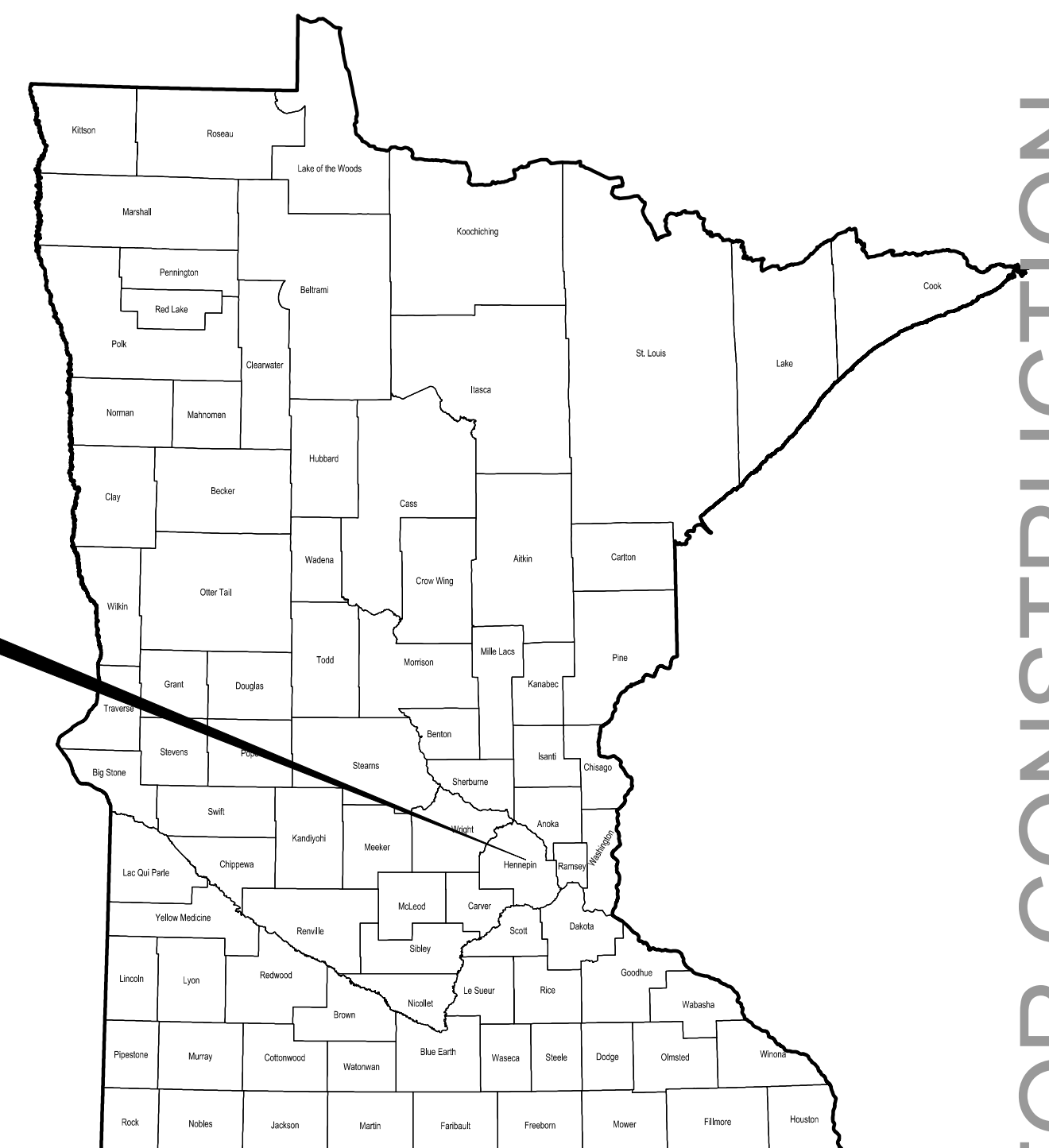
PROJECT LOCATION
FARR PLUMBING
5208 HANSON COURT N

DRAWING INDEX	
SHEET NUMBER	SHEET TITLE
C1.0	TITLE SHEET
C1.1	CIVIL LEGEND
C1.2-1.12	CIVIL DETAILS
C1.13	EXISTING CONDITIONS & REMOVAL PLAN
C1.14	SITE PLAN
C1.15	GRADING AND DRAINAGE PLAN
C1.16	UTILITY PLAN
C1.17	TURF ESTABLISHMENT AND EROSION CONTROL PLAN

GOVERNING SPECIFICATIONS

THE 2020 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AND 2020 EDITION OF THE "MATERIALS LAB SUPPLEMENTAL SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN.

PROJECT LOCATION
CITY OF CRYSTAL



NOT FOR CONSTRUCTION

WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

DATE: FEBRUARY 2023
SCALE: AS SHOWN
DRAWN BY: FEB
CHECKED BY: TMH
JOB NUMBER: 2022-11768

REVISIONS DESCRIPTION DATE REW

BY: _____

FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
PUD PLAN SET
CRYSTAL, MN
TITLE SHEET

SHEET NO. **1.0**
SHEET OF

I:\Becklin & Whitney Consulting Engineers Inc -45209\2022-11768\CADD\Civil\CS-TS-2022-11766.dwg Plotted by: Frank Brodeen 2/13/2023 3:16:37 PM © 2023 WIDSETH SMITH NOLTING & ASSOCIATES, INC.

NEWSEY CERTIFIED THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA. FRANK E. BRODEEN LIC. NO. 57780 DATE: 2/14/2023

SURVEY MONUMENTS

- BENCH MARK
- FOUND CIM
- FOUND CPNT.
- FOUND JLM
- FOUND LATH
- FOUND PIPE
- FOUND READING
- STAKED CIM
- STAKED CPNT.
- STAKED JLM
- STAKED PIPE

EXISTING TOPO SYMBOLS

- AC UNIT
- FENCE POST
- FLAG POLE
- GUARD POST
- GUY ANCHOR
- GUY POLE
- HANDICAP SYMBOL
- MAILBOX
- SHRUB
- SIGN DOUBLE POST
- SIGN SINGLE POST
- SIGN FIRE NUMBER
- TREE CONIFER
- TREE DECIDUOUS
- TREE STUMP
- TV DISH
- WETLAND SYMBOL
- YARD LIGHT

EXISTING UTILITY MUNICIPAL SYMBOLS

- APRON
- LIFT STATION
- SANITARY CLEANOUT
- SANITARY MANHOLE
- STORM CATCH BASIN
- STORM INLET

EXISTING UTILITY MUNICIPAL SYMBOLS (cont.)

- STORM MANHOLE
- WATER CURB STOP
- WATER HANDHOLE
- WATER HYDRANT
- WATER MANHOLE
- WATER METER
- WATER VALVE
- WATER WELL
- UTILITY UTILITY SIZE & TYPE

EXISTING UTILITY PRIVATE SYMBOLS

- ELEC GROUND LIGHT
- ELEC HANDHOLE
- ELEC LIGHT POLE
- ELEC MANHOLE
- ELEC METER
- ELEC PEDESTAL
- ELEC POLE
- ELEC SIGNAL
- ELEC TRANSFORMER BOX
- GAS METER
- GAS VALVE
- LP TANK
- TELE HANDHOLE
- TELE MANHOLE
- TELE PEDESTAL
- TELE POLE
- TV HANDHOLE
- TV PEDESTAL

SOIL BORING SYMBOLS

- LASER-INDUCED FLUORESCENCE BORING
- LYSIMETER
- MONITOR WELL
- PERC TEST
- PIEZOMETER
- RECOVERY WELL
- SOIL BORING
- SOIL VAPOR POINT
- VAPOR SURVEY POINT

PROPOSED UTILITY MUNICIPAL SYMBOLS

- APRON PROPOSED
- SANITARY CLEANOUT PROPOSED
- SANITARY LIFT STATION PROPOSED
- SANITARY LIFT STATION VALVE MANHOLE PROPOSED
- SANITARY MANHOLE PROPOSED
- SANITARY PLUG PROPOSED
- STORM CATCH BASIN PROPOSED
- STORM MANHOLE PROPOSED
- WATER 11 1/4° BEND PROPOSED
- WATER 22 1/2° BEND PROPOSED
- WATER 45° BEND PROPOSED
- WATER 90° BEND PROPOSED
- WATER CAP PROPOSED
- WATER CROSS PROPOSED
- WATER CURB STOP PROPOSED
- WATER HYDRANT PROPOSED
- WATER REDUCER PROPOSED
- WATER SLEEVE PROPOSED
- WATER TEE PROPOSED
- WATER VALVE PROPOSED

PROPOSED UTILITY PRIVATE SYMBOLS

- ELEC LIGHT POLE PROPOSED

EROSION CONTROL SYMBOLS

- SURFACE DRAINAGE ARROW
- STORM DRAIN INLET PROTECTION

TRAFFIC CONTROL DEVICES & SYMBOLS

- TRAFFIC CONTROL SIGN (1 POST)
- TRAFFIC CONTROL SIGN (2 POST)
- TYPE III BARRICADE
- DRUM CHANNELIZER
- FLASHING ARROW OR MESSAGE BOARD

EXISTING TOPOGRAPHIC LINES

- CENTER LINE
- EDGE OF WOODS
- FENCE BARB WIRE
- FENCE CHAIN LINK
- FENCE WOOD
- FORCEMAIN
- OVERHEAD CABLE TV
- OVERHEAD ELECTRIC
- OVERHEAD TELE
- RAILROAD
- RETAINING WALL
- SANITARY SEWER
- SANITARY SEWER SERVICE
- STORM SEWER
- STORM SEWER DRAIN TILE
- UNDERGROUND CABLE TV
- UNDERGROUND ELECTRIC
- UNDERGROUND FIBER OPTIC
- UNDERGROUND GAS
- UNDERGROUND TELE
- WATERMAIN
- WATERMAIN SERVICE
- WETLAND EDGE

R/W, LOT & EASEMENTS LINES

- BUILDING SETBACK LINE
- LOT LINE PROPOSED
- EASEMENT LINE
- EASEMENT LINE PROPOSED
- LOT LINE
- MNDOT CONTROLLED ACCESS LINE
- RIGHT OF WAY EXISTING
- RIGHT OF WAY PROPOSED

PROPOSED CONSTRUCTION LINES

- FENCE CHAIN LINK PROPOSED
- FENCE WOOD PROPOSED
- FENCE BARB WIRE PROPOSED
- FORCEMAIN PROPOSED
- SANITARY SEWER PROPOSED
- SANITARY SERVICE PROPOSED
- STORM SEWER PROPOSED
- STORM SEWER DRAIN TILE PROPOSED
- WATERMAIN PROPOSED
- WATERMAIN SERVICE PROPOSED

EROSION CONTROL LINES

- BALE CHECK
- BIO ROLL
- SILT FENCE
- SILT FENCE TYPE HEAVY DUTY
- SILT FENCE TYPE MACHINE SLICED
- SILT FENCE TYPE PREASSEMBLED
- FLOTATION SILT CURTAIN

HATCH PATTERN AND SHADING LEGEND

- RANDOM RIPRAP
- SOD
- SEED
- HYDRAULIC STABILIZER
- EROSION CONTROL BLANKET
- TEMP. ROCK CONSTRUCTION ENTRANCE
- BUILDING WALL HATCH
- BITUMINOUS SURFACE
- CONCRETE SURFACE
- GRAVEL SURFACE
- EASEMENT PATTERN

DOCUMENTATION SYMBOLS

- SECTION ARROW - SECTION NUMBER TOP; PAGE OF SECTION BOTTOM

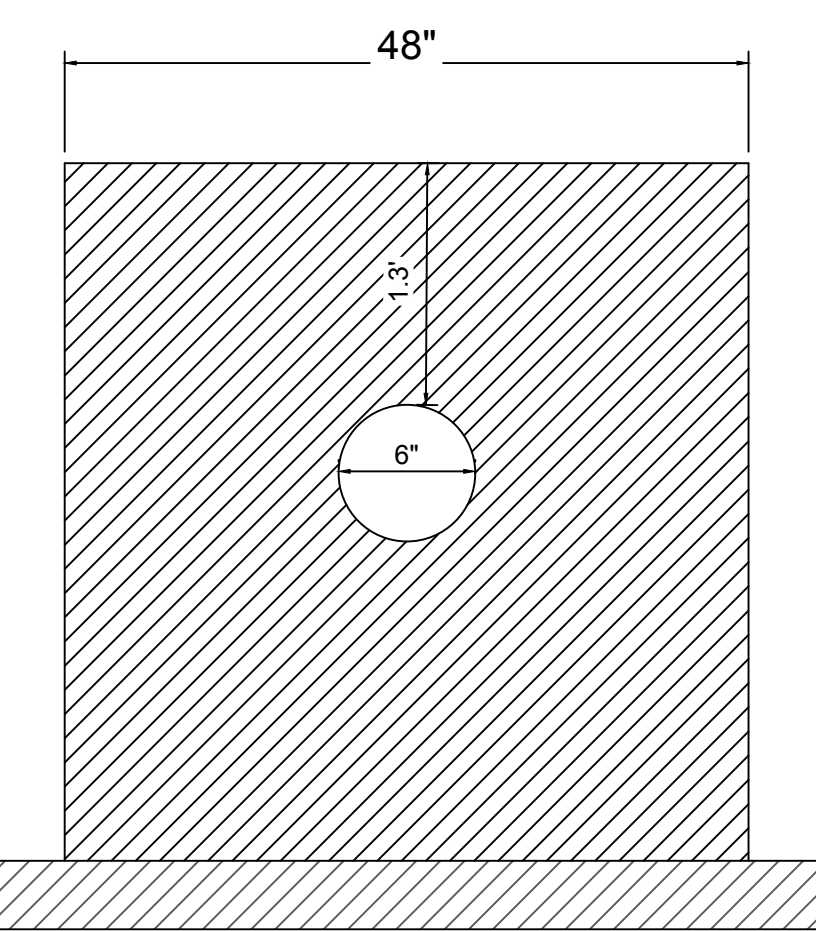
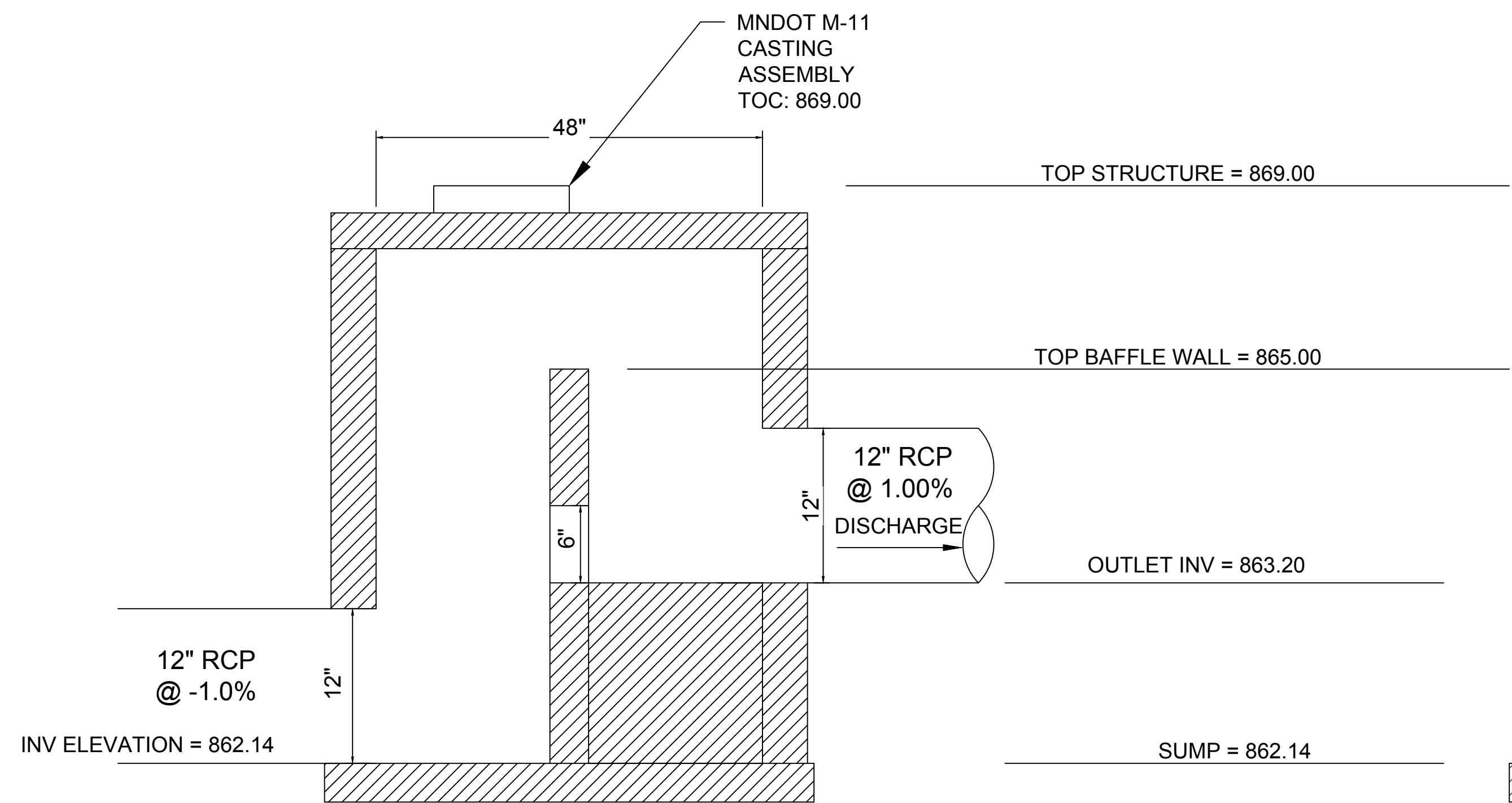
NEWLY SUBMITTED FOR REVIEW AND APPROVAL BY THE BOARD OF PROFESSIONAL ENGINEERS AND SURVEYORS OF THE STATE OF MINNESOTA. I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

DATE: 2/14/2023 LIC. NO. 57780
FRANK E. BRODEEN

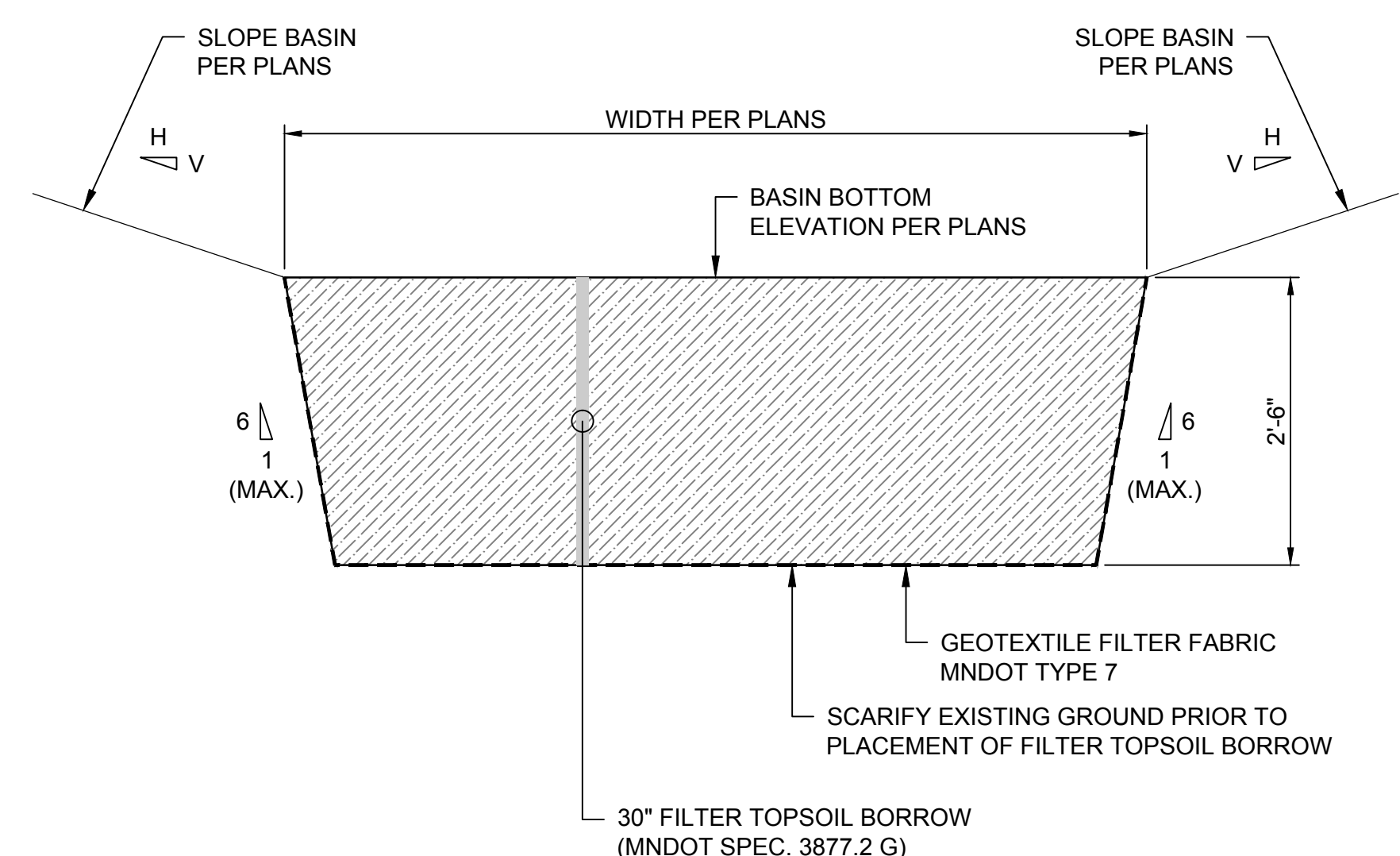
DATE	REVISION DESCRIPTION	BY	REV#

DATE: FEBRUARY 2023
SCALE: AS SHOWN
DRAWN BY: FEB
CHECKED BY: TMH
JOB NUMBER: 2022-11786

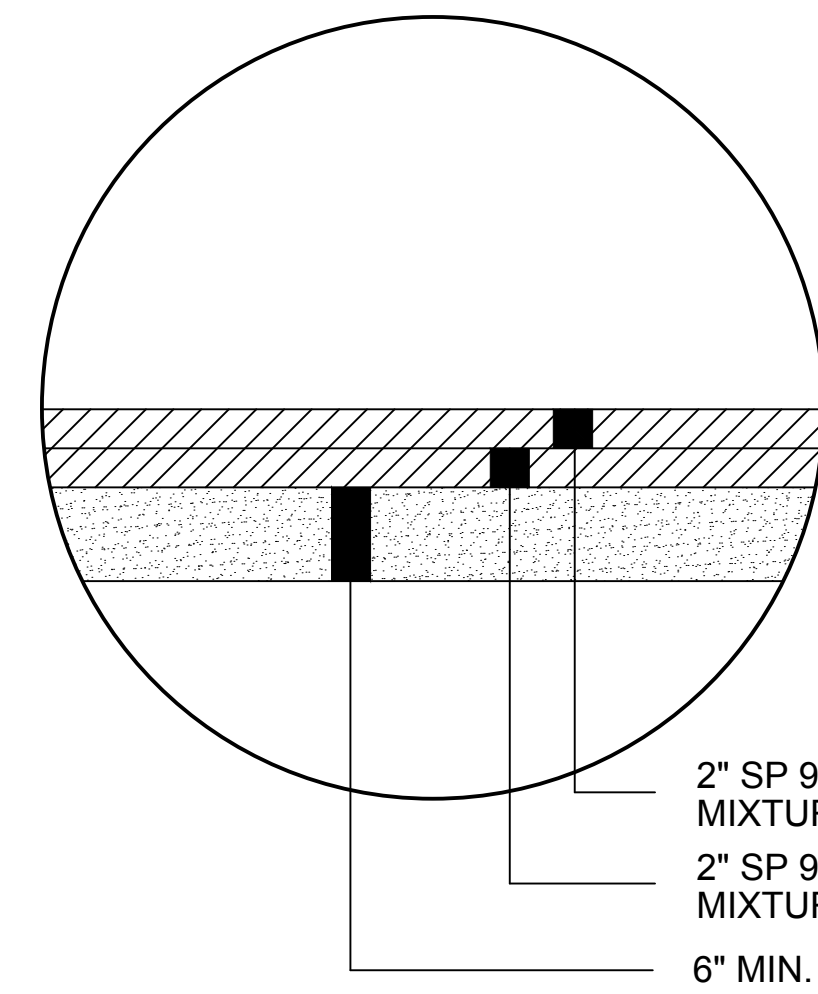
FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
PUD PLAN SET
CRYSTAL, MN
CIVIL LEGEND



**OUTLET CONTROL STRUCTURE
(NOT TO SCALE)**



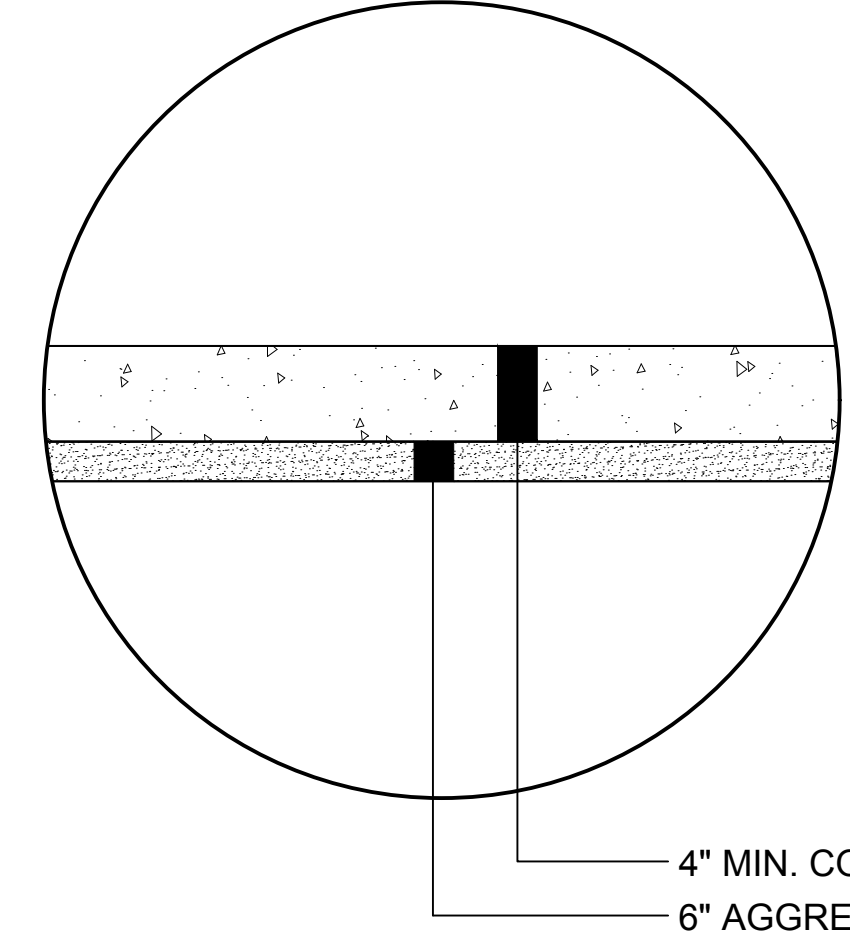
**INFILTRATION BASIN SECTION DETAIL
SCALE: NONE**



BITUMINOUS PARKING LOT SECTION

NOTE: PAVEMENT AND AGGREGATE THICKNESS ASSUMED. SUBJECT TO CHANGE BASED ON GEOTECHNICAL EXPLORATION.

- 2" SP 9.5 BITUMINOUS WEARING COURSE MIXTURE SPWEA330B
- 2" SP 9.5 BITUMINOUS WEARING COURSE MIXTURE SPWEA330B
- 6" MIN. AGGREGATE BASE CL V



4" CONCRETE WALK

- 4" MIN. CONCRETE
- 6" AGGREGATE BASE CL V

NEWLY SUBMITTED FOR REVIEW AND APPROVAL OF THIS PROJECT. I AM A DAILY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
FRANK E. BRODEEN
DATE: 2/14/2023 LIC. NO. 57780

DATE	REVISION DESCRIPTION

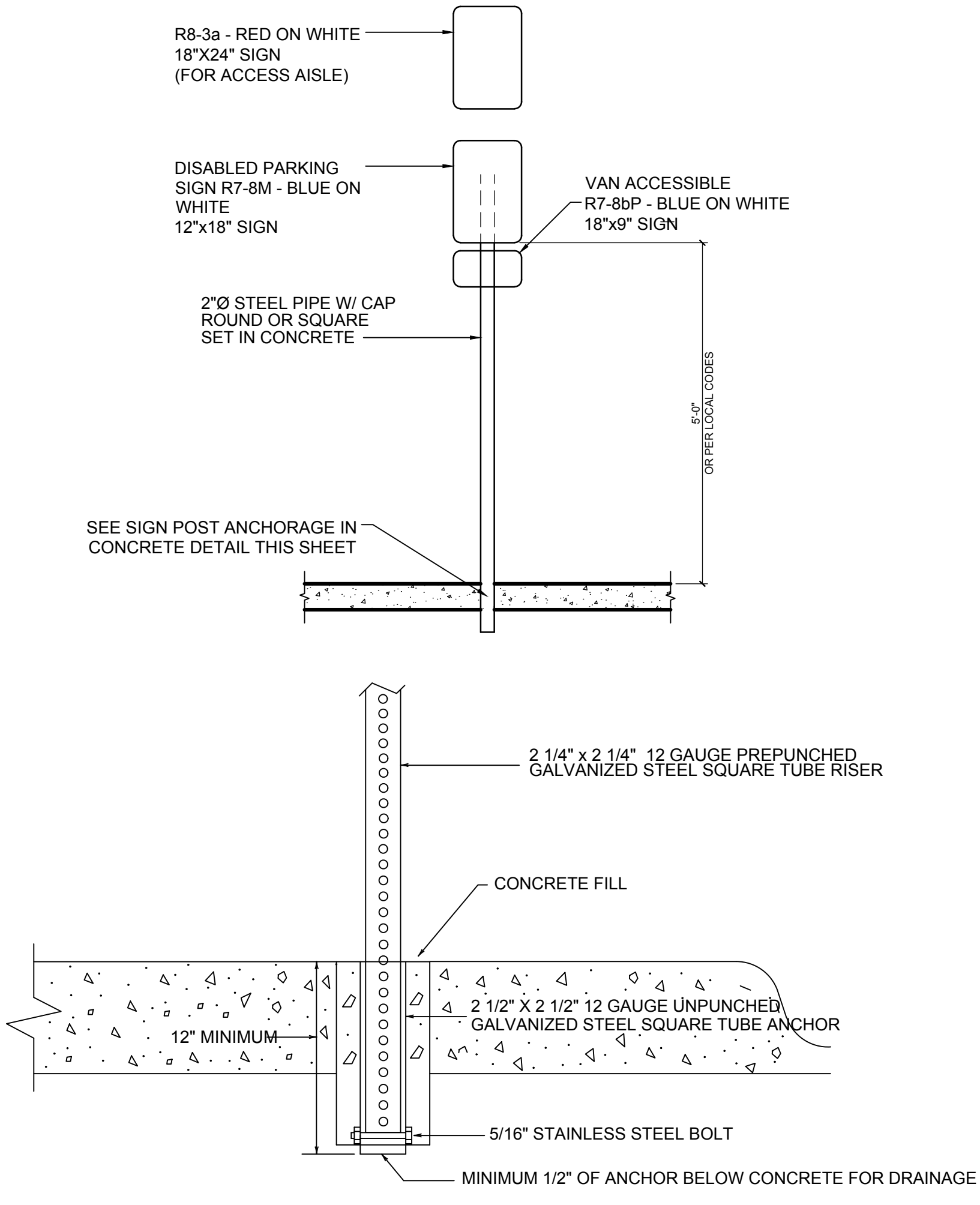
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DRAWN BY: TMH
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JOB NUMBER: 2022-11786

FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
PUD PLAN SET
CRYSTAL, MN
CIVIL DETAILS

DATE	REVISION DESCRIPTION	BY

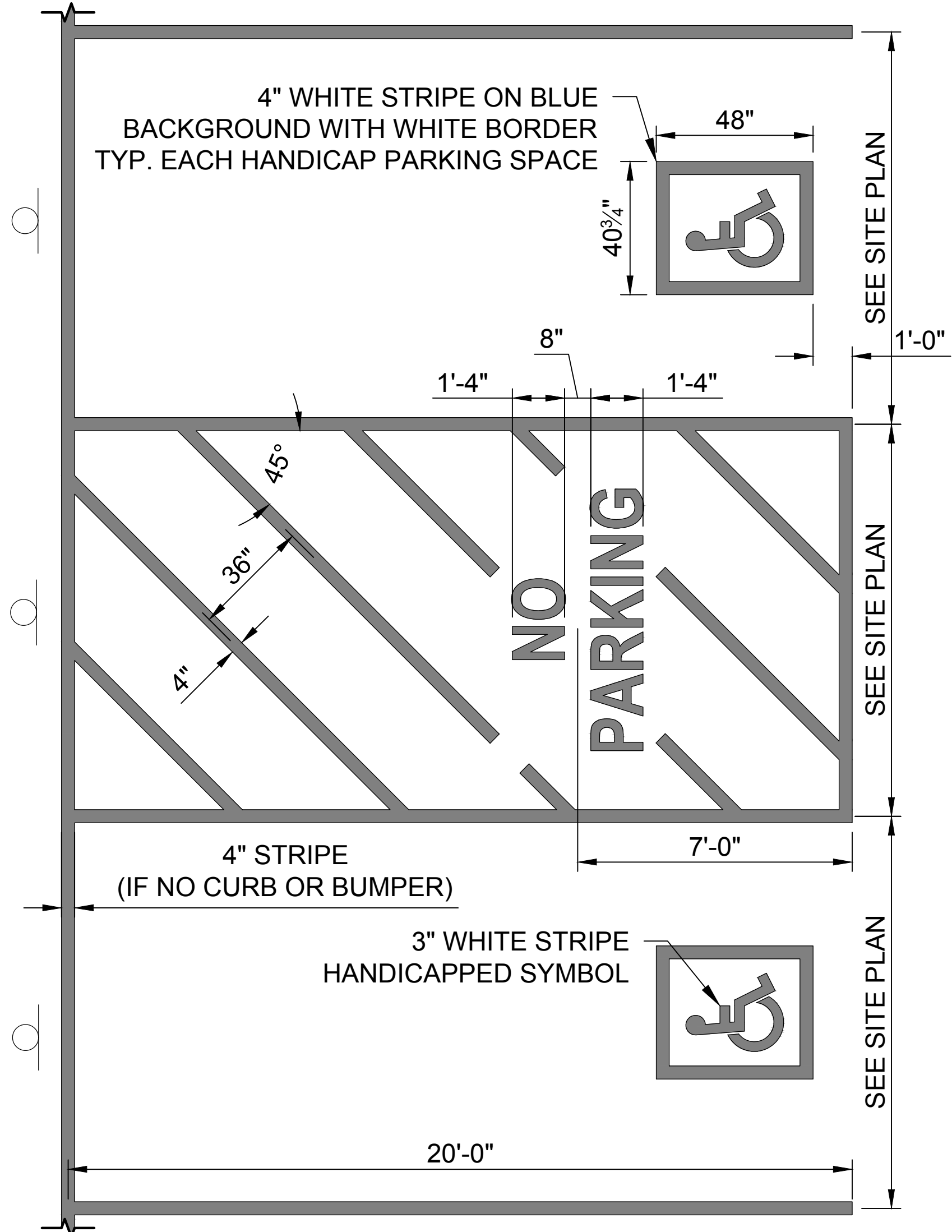
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CHECKED BY: FEB	TNH
JOB NUMBER: 2022-11786	

FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
PUD PLAN SET
CRYSTAL, MN
CIVIL DETAILS



- NOTES:
1. DRILL AN 8" DIAMETER HOLE THE FULL DEPTH OF THE ANCHOR.
 2. DRILL 3/8" HOLES ON OPPOSITE SIDES OF THE UNPUNCHED GALVANIZED STEEL SQUARE TUBE ANCHOR APPROX. 1" FROM THE BOTTOM OF THE ANCHOR. INSERT A 5/16" STAINLESS STEEL BOLT THROUGH THE HOLES AND SECURE WITH A STAINLESS STEEL LOCK NUT WITH NYLON INSERT. THE PREPUNCHED GALVANIZED STEEL SQUARE TUBE RISER (TO BE INSERTED INSIDE THE UNPUNCHED GALVANIZED SQUARE TUBE ANCHOR) WILL REST ON BOLT.
 3. INSERT THE ANCHOR IN THE HOLE.
 4. AFTER INSTALLATION OF THE UNPUNCHED GALVANIZED STEEL SQUARE TUBE ANCHOR, FILL THE HOLE WITH A CONCRETE MIX APPROVED BY THE ENGINEER AND LEVEL OFF THE TOP OF CONCRETE.
 5. MAXIMUM SIGN PANEL SIZE IS 42" WIDE X 48" HIGH.
 6. SIGN PANEL TO BE MOUNTED 7 FT ABOVE THE GROUND.

SIGN POST ANCHORAGE IN CONCRETE



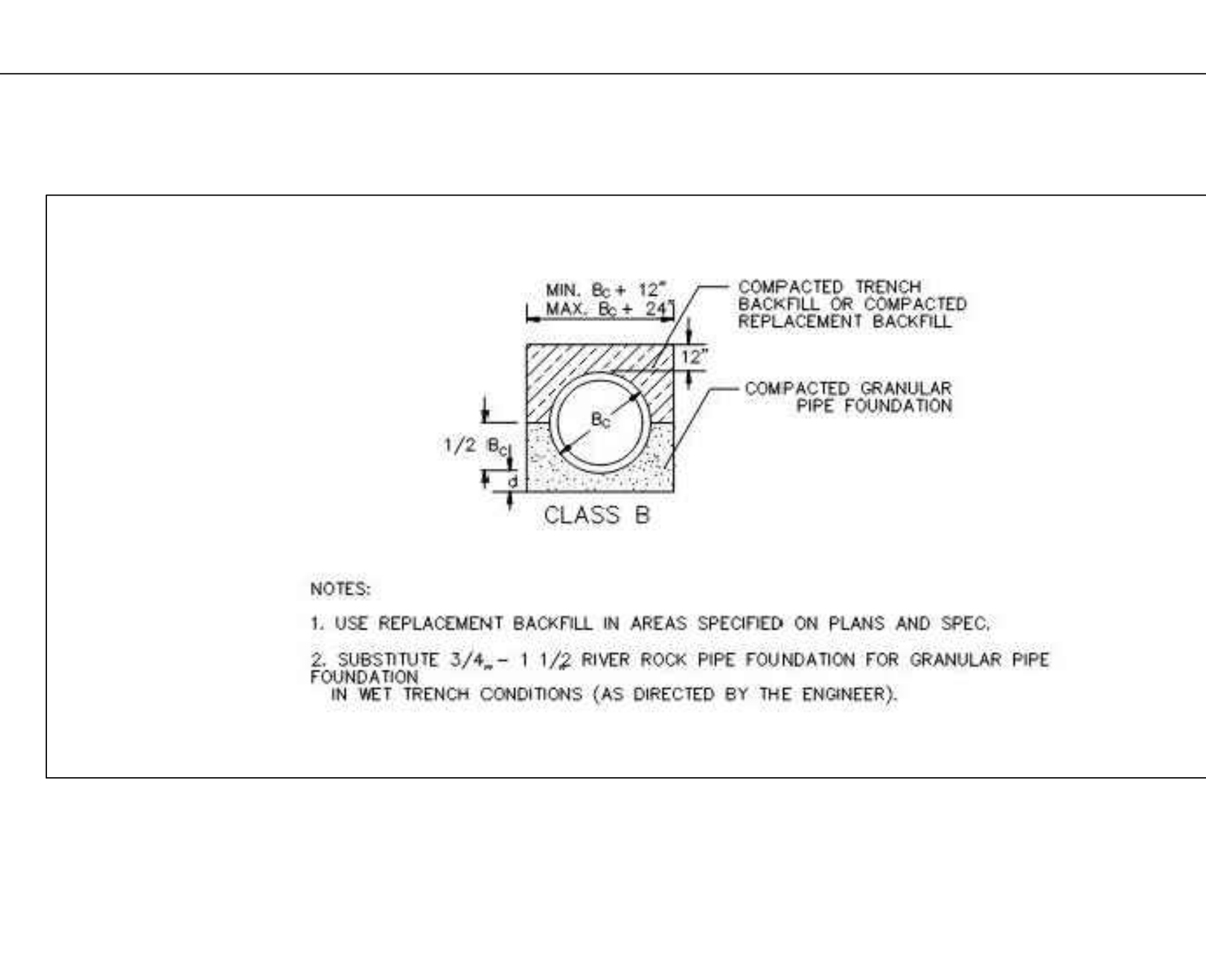
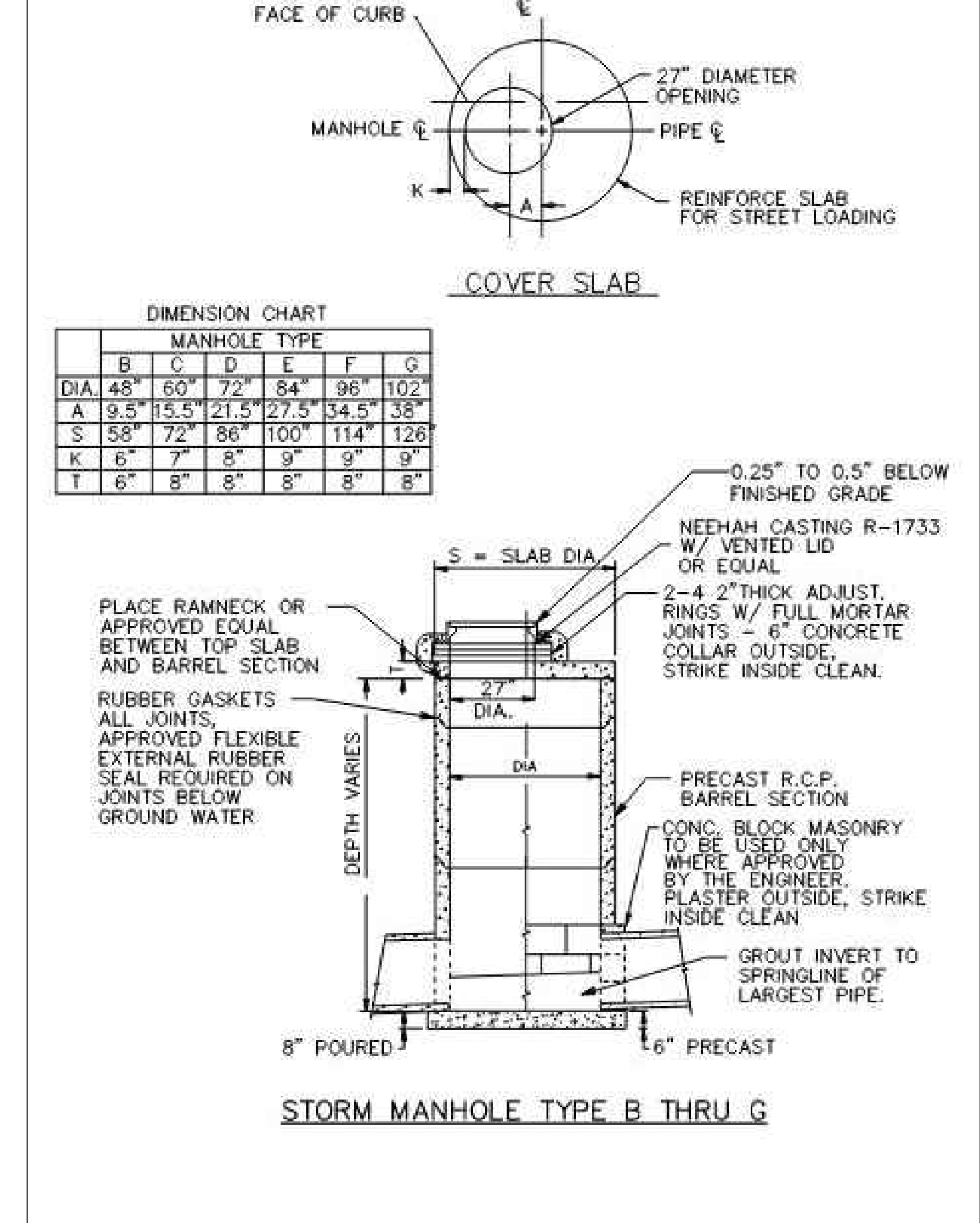
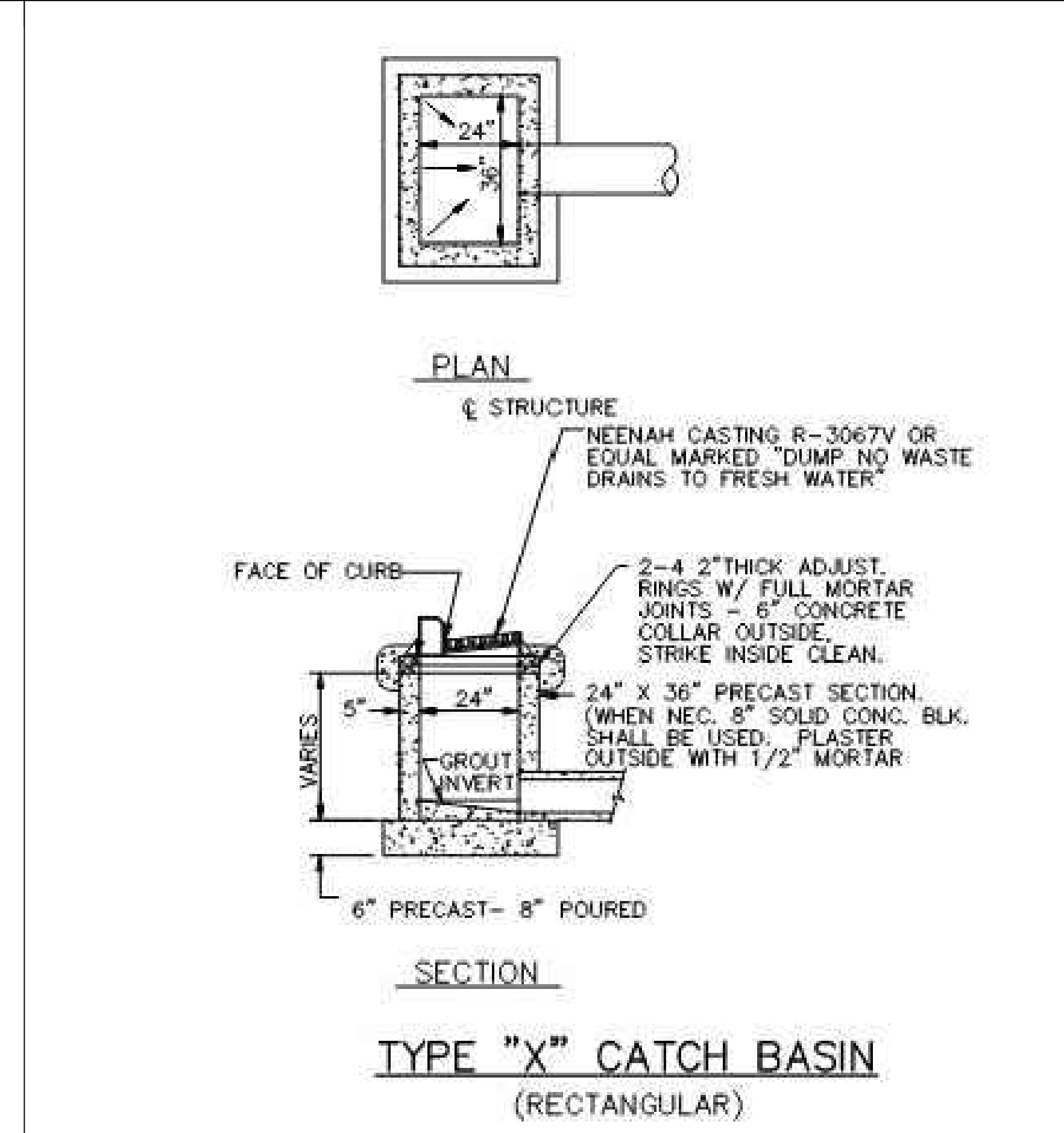
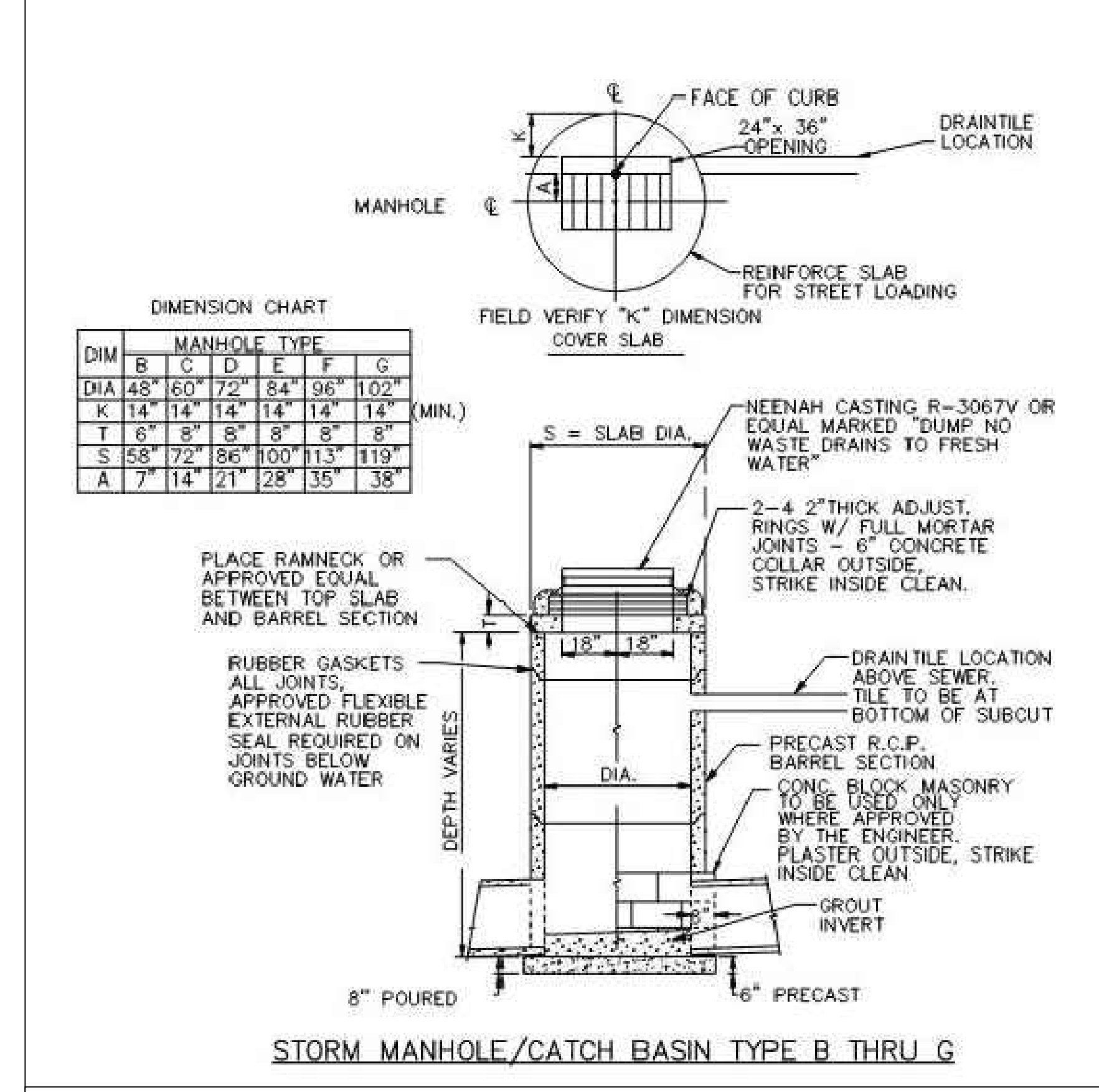
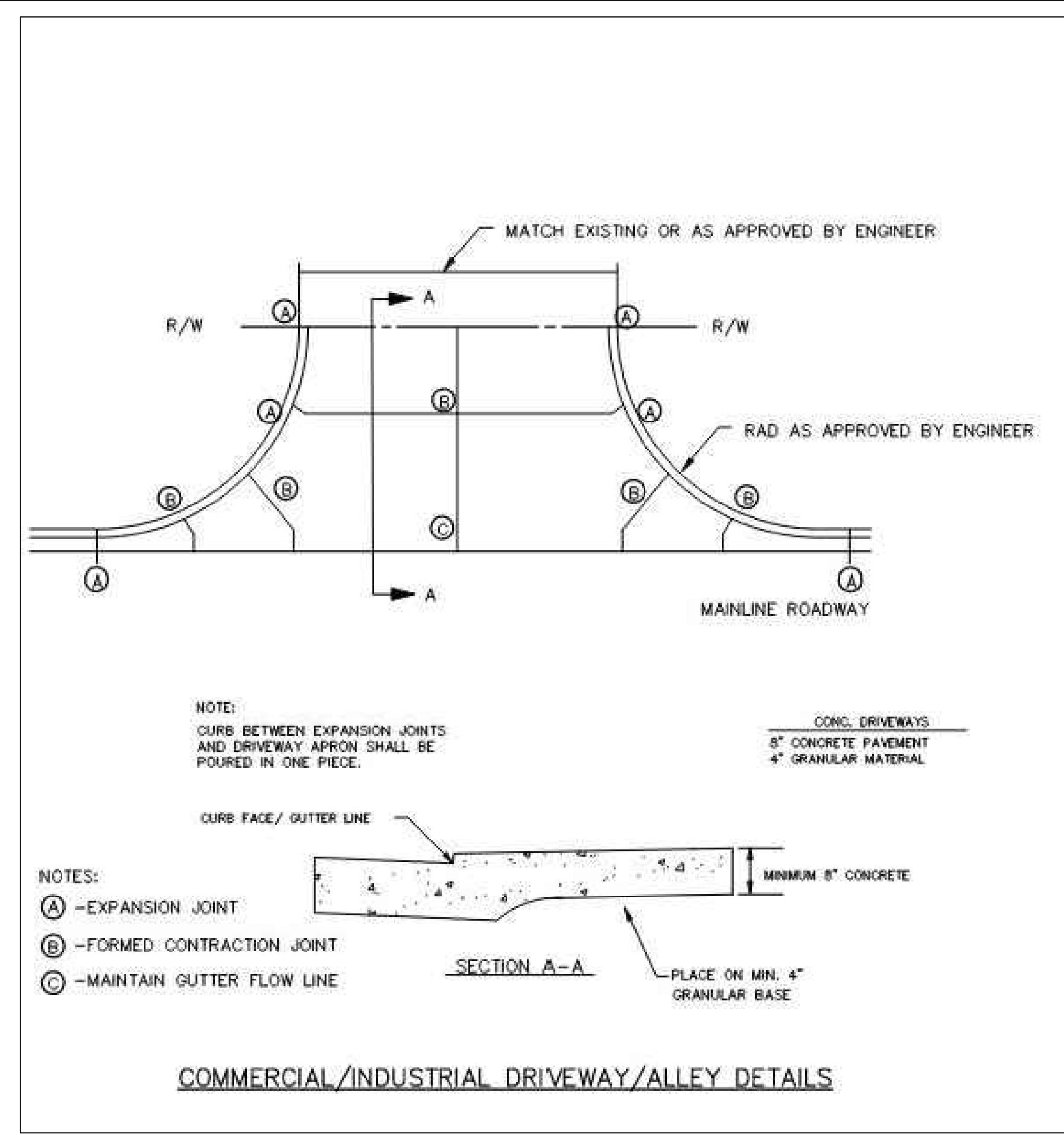
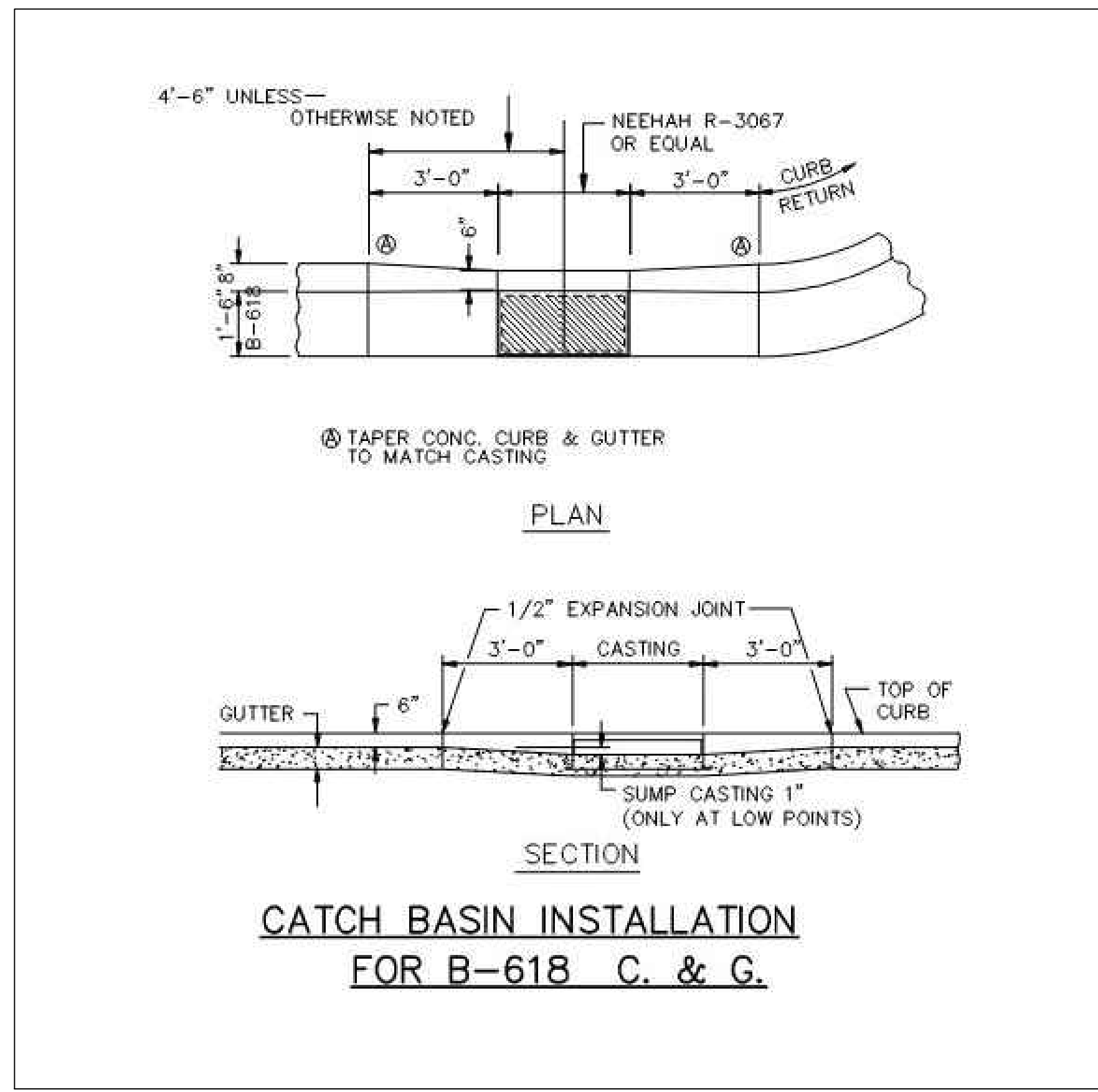
- NOTE:
- ALL PAINT USED FOR STRIPING SHALL CONFORM TO STANDARD MNDOT REQUIREMENTS AS OUTLINED IN MNDOT SPECIFICATION No. 3591. COLOR SHALL BE BRIGHT WHITE.
 - AS SHOWN ON SITE PLAN

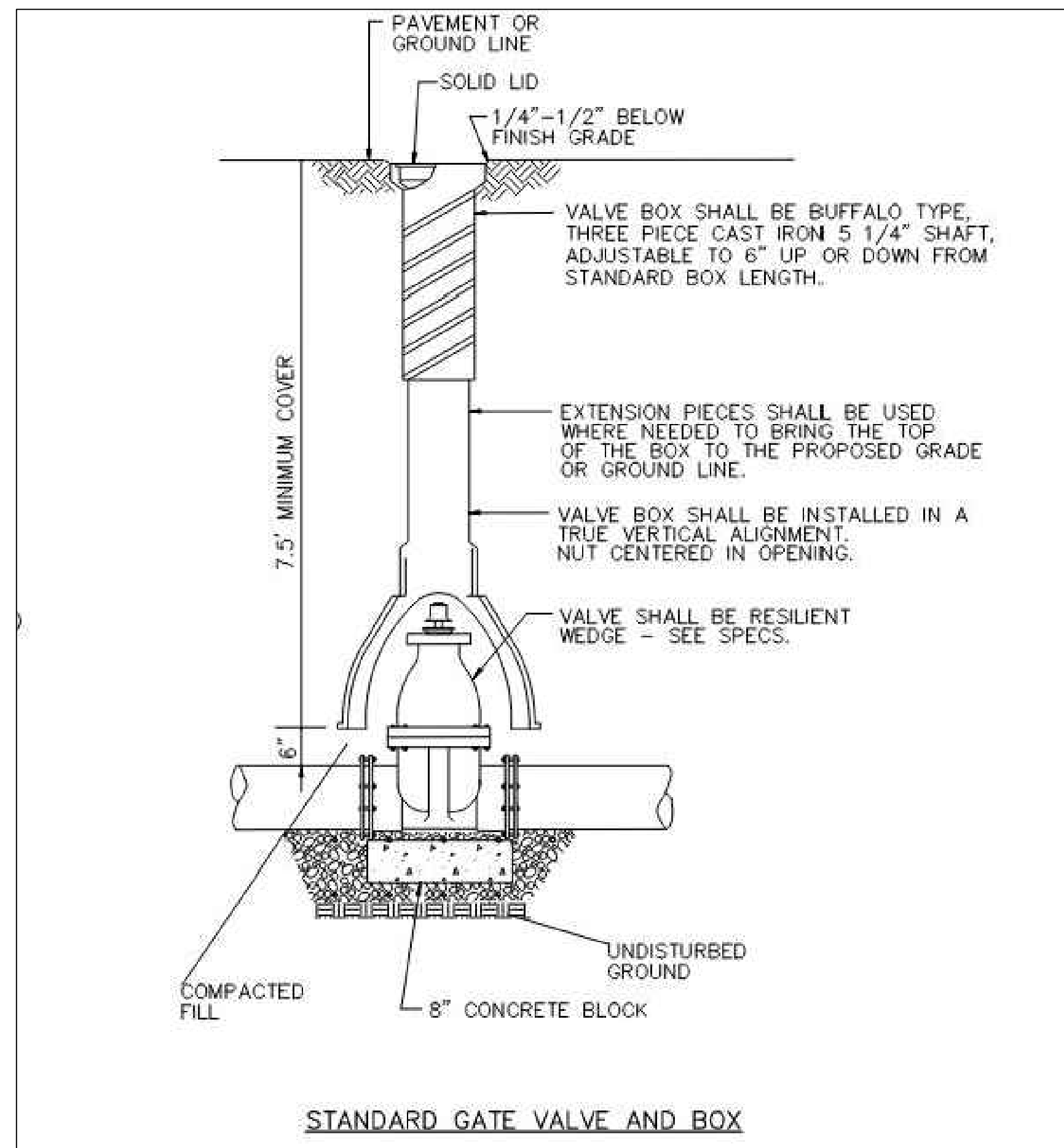
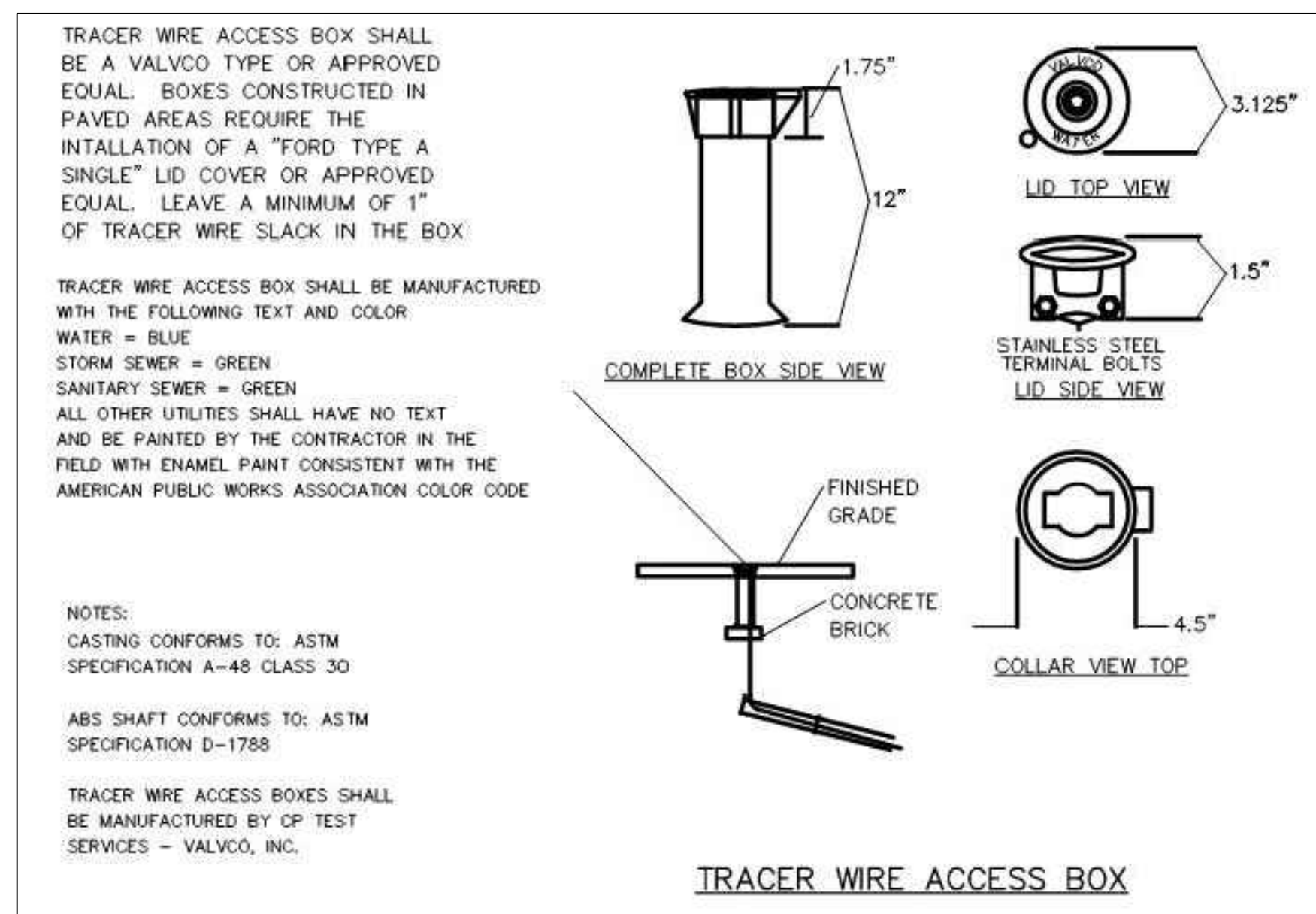
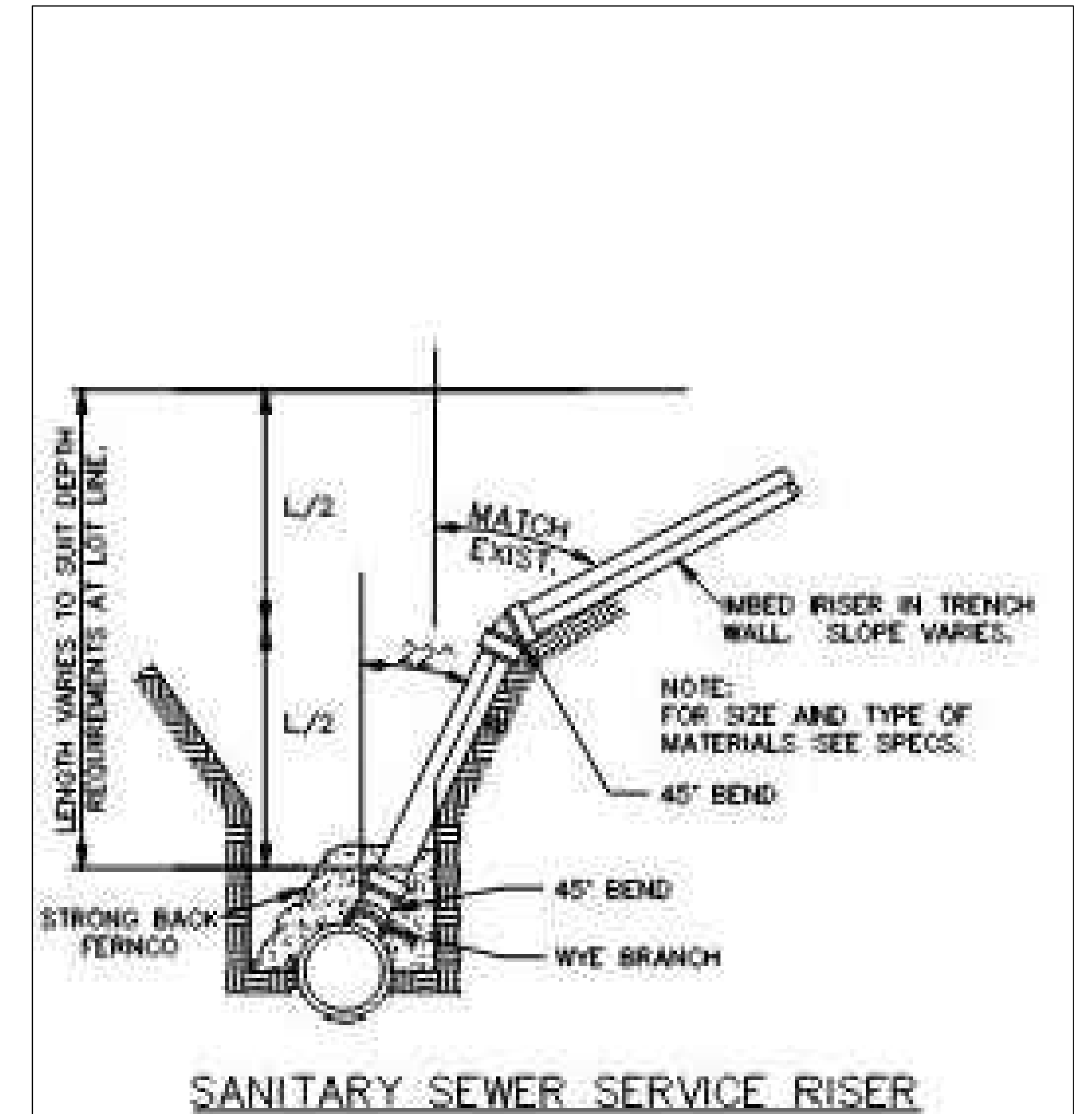
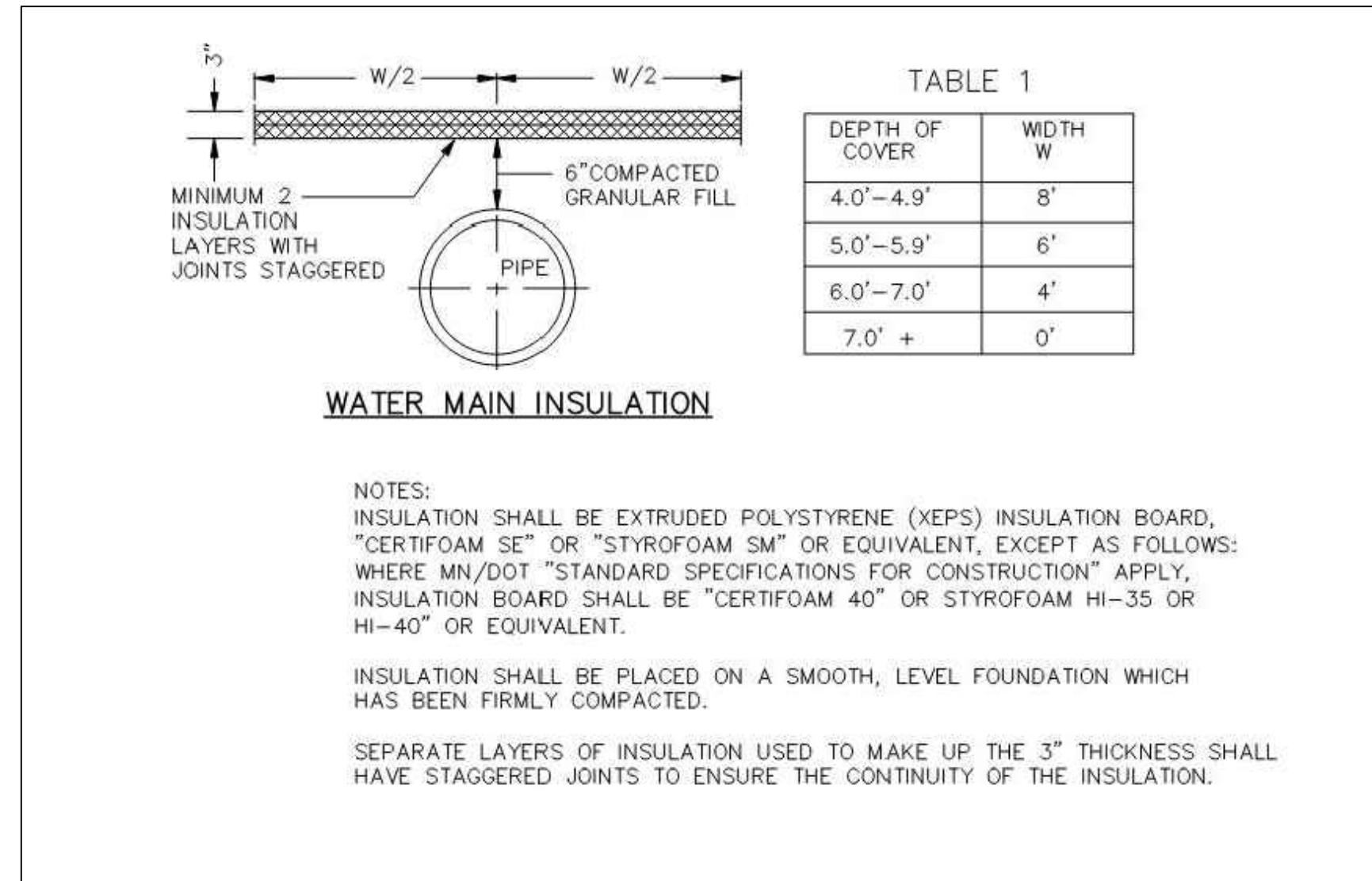
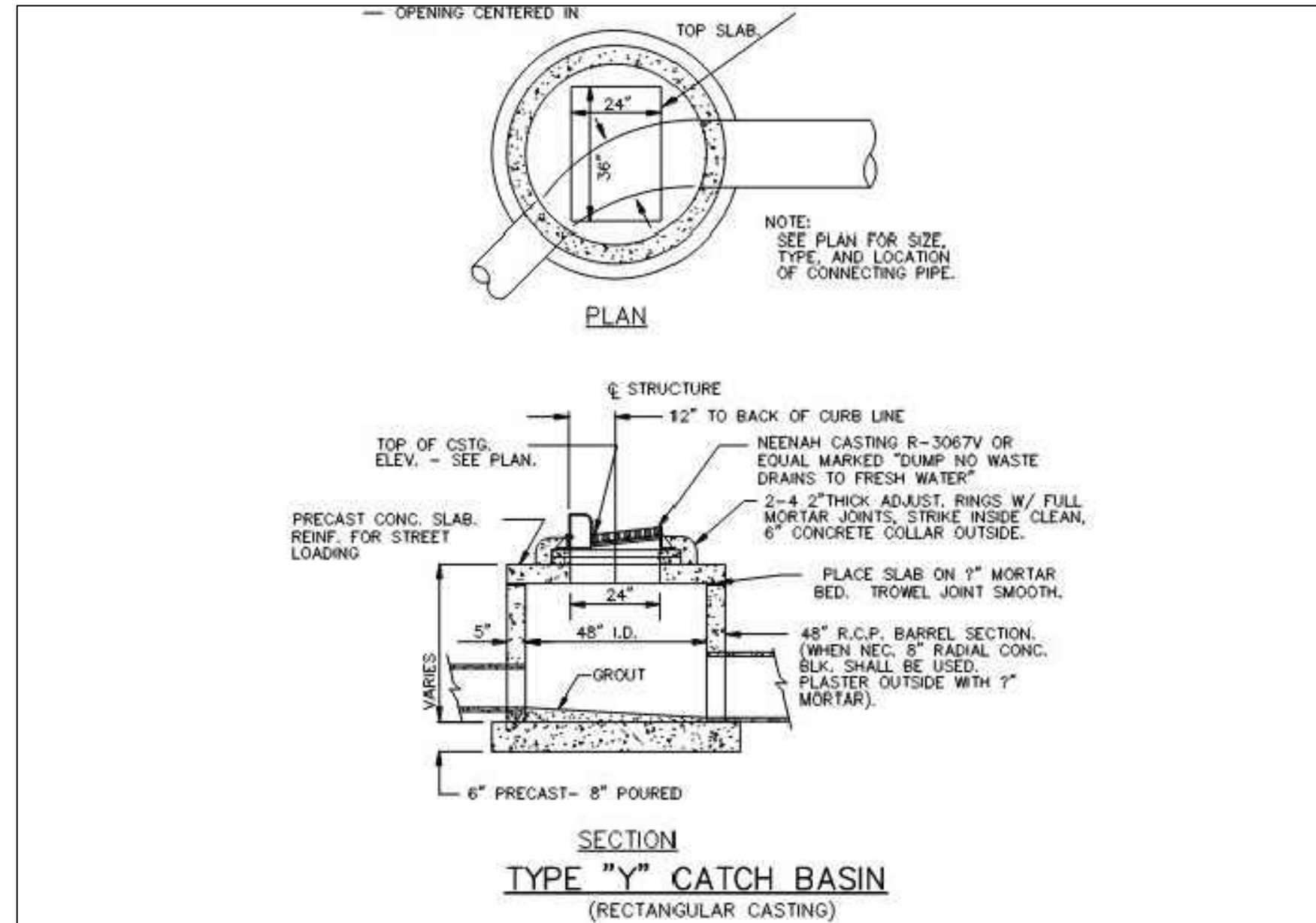
ACCESSIBLE STALL STRIPING DETAIL

SCALE: NONE

DATE	REVISION DESCRIPTION

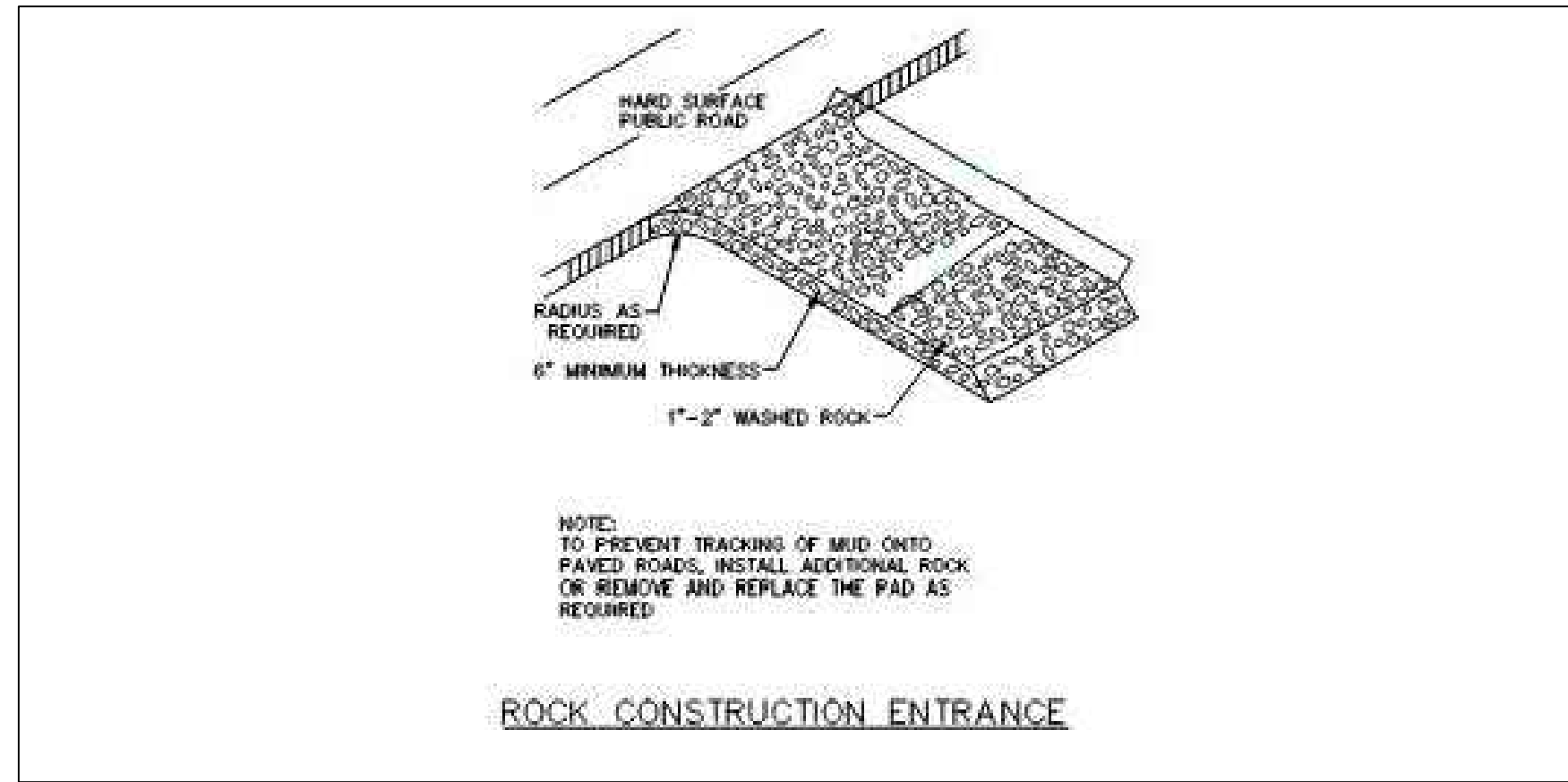
DATE: FEBRUARY 2023	AS SHOWN
SCALE: AS SHOWN	FEB
DRAWN BY: T.M.H.	CHECKED BY: T.M.H.
JOB NUMBER: 2022-11796	





DATE	REVISION DESCRIPTION

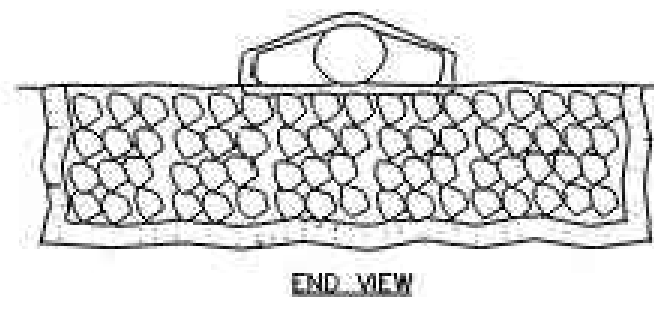
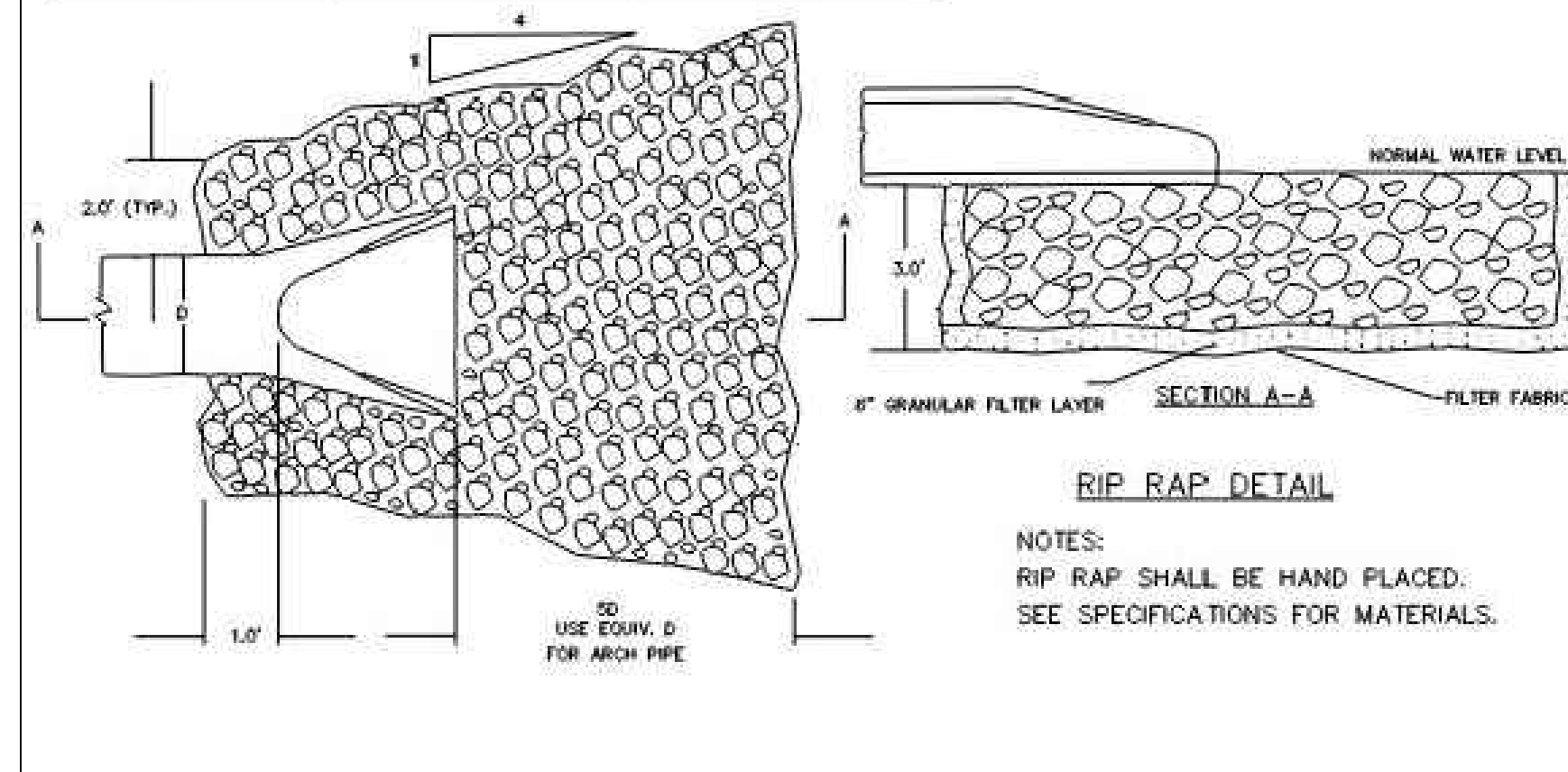
DATE: FEBRUARY 2023	AS SHOWN
SCALE: FEB	T.M.H.
CHECKED BY:	2022-11796



ROCK CONSTRUCTION ENTRANCE

RIP RAP QUANTITIES (C.Y.)

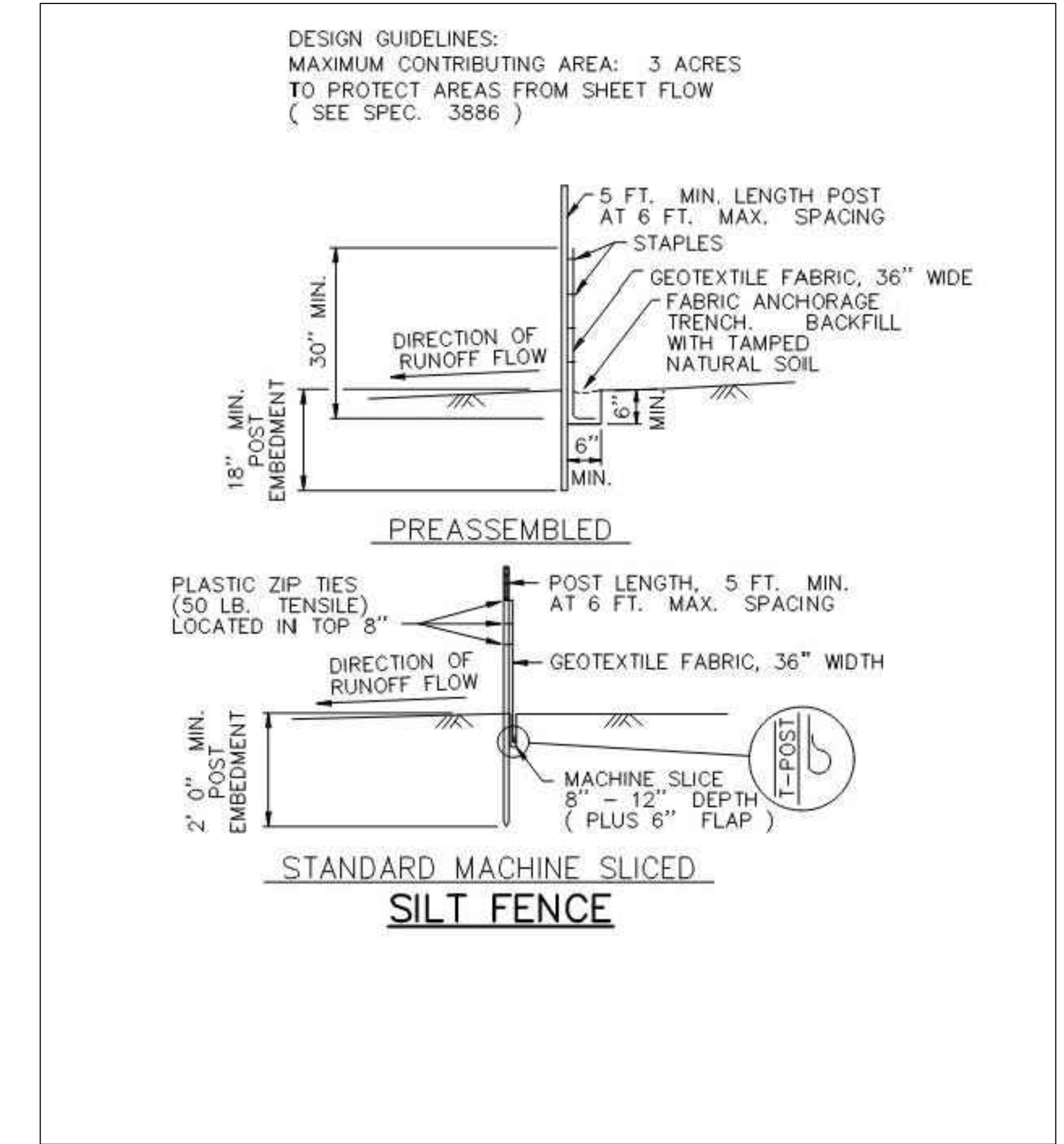
PIPE DIAMETER	RIP RAP	PIPE DIAMETER	RIP RAP	PIPE DIAMETER	RIP RAP
12"	6	24"	14	42"	35
15"	8	27"	17	48"	43
18"	9	30"	21	54"	50
21"	12	36"	28	60"	58
				72"	74



END VIEW

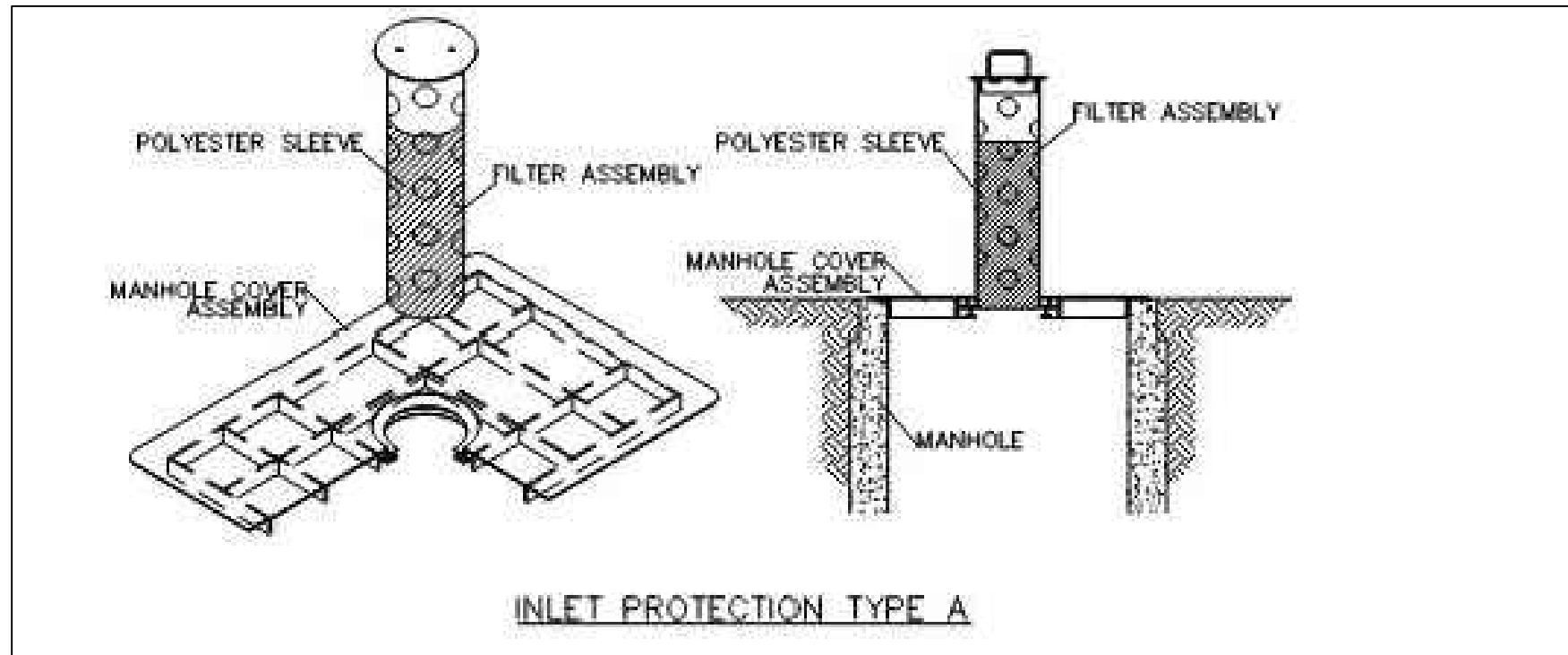
RIP RAP DETAIL

NOTES:
RIP RAP SHALL BE HAND PLACED.
SEE SPECIFICATIONS FOR MATERIALS.

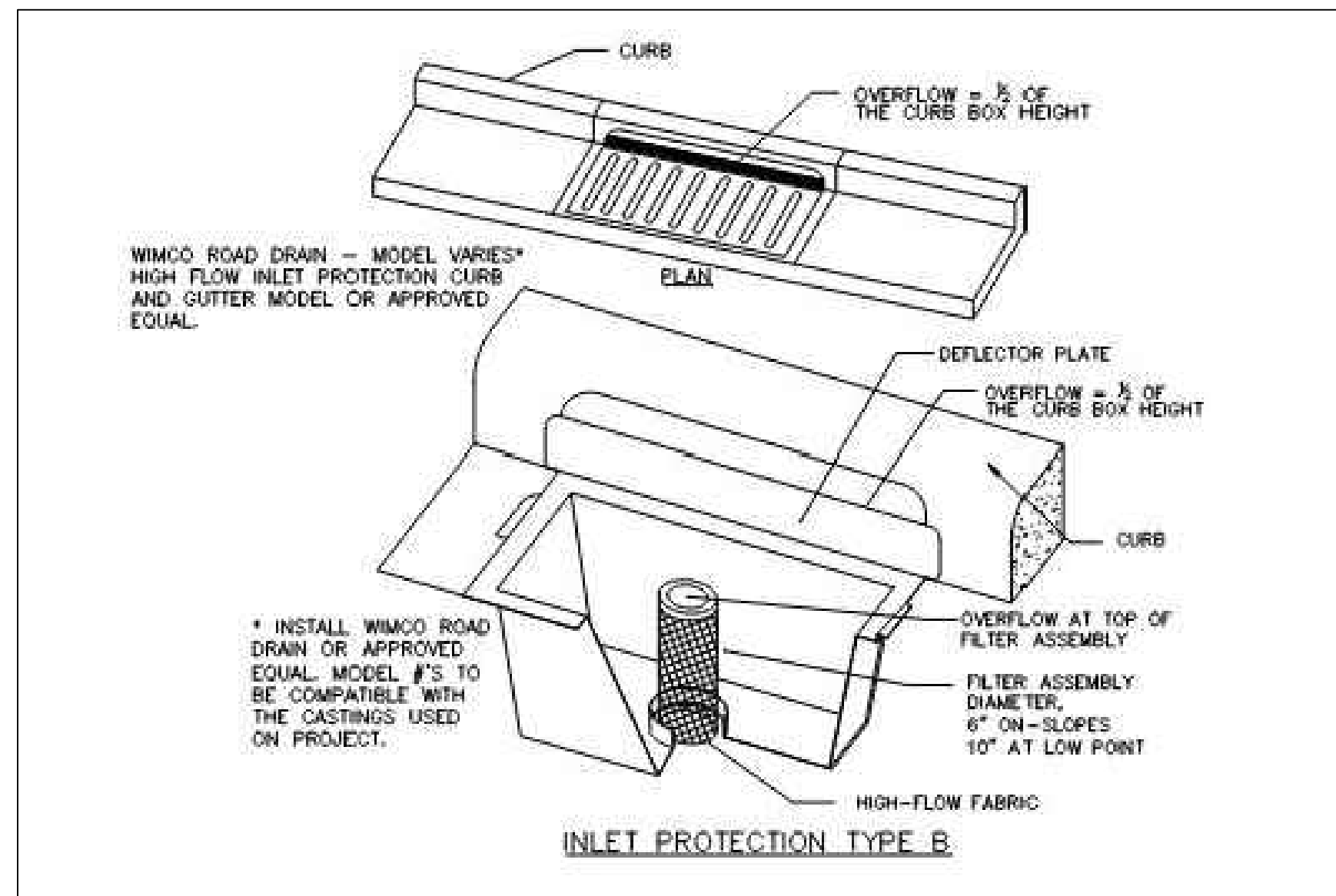


PREASSEMBLED

STANDARD MACHINE SLICED SILT FENCE



INLET PROTECTION TYPE A



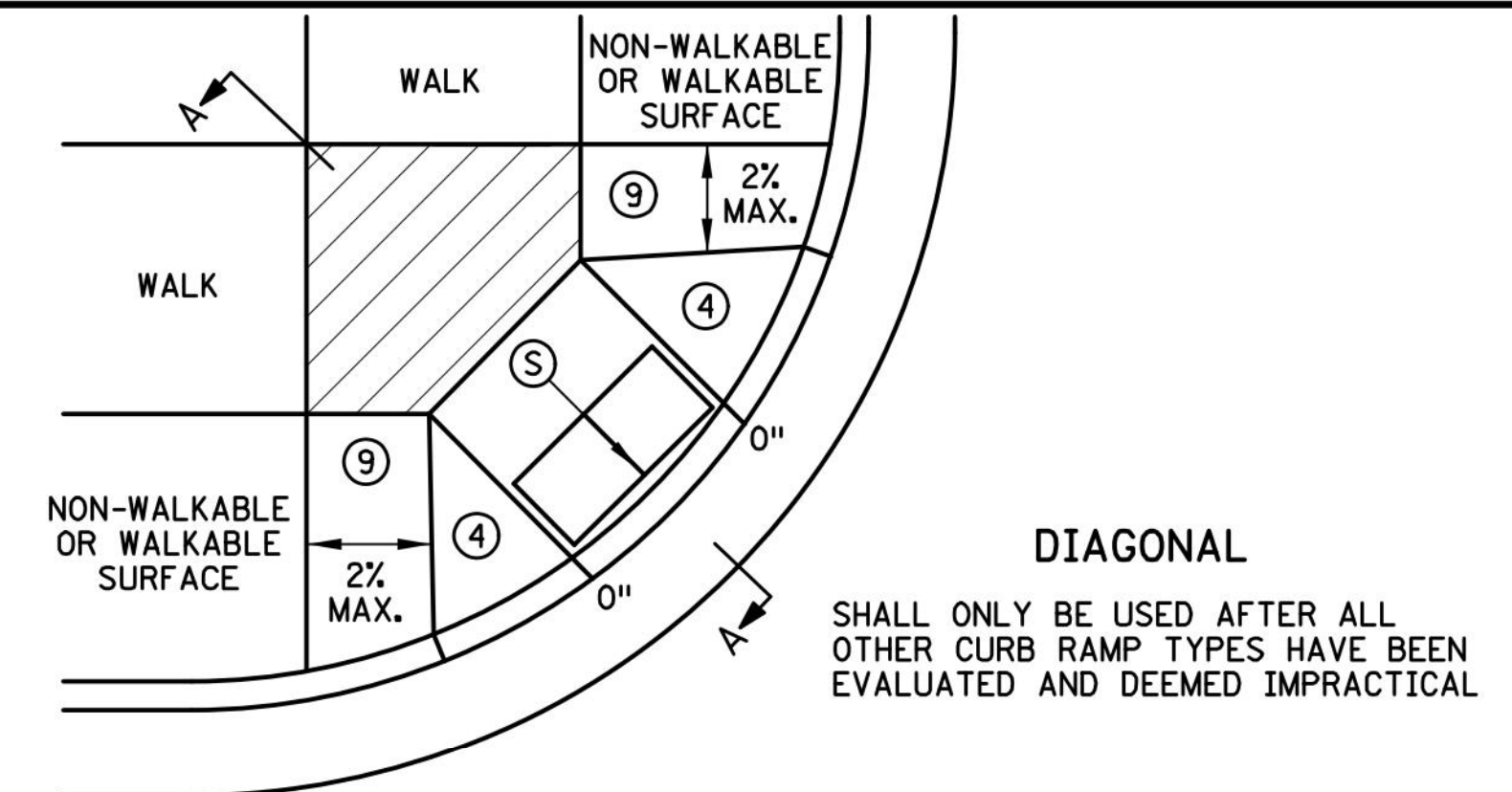
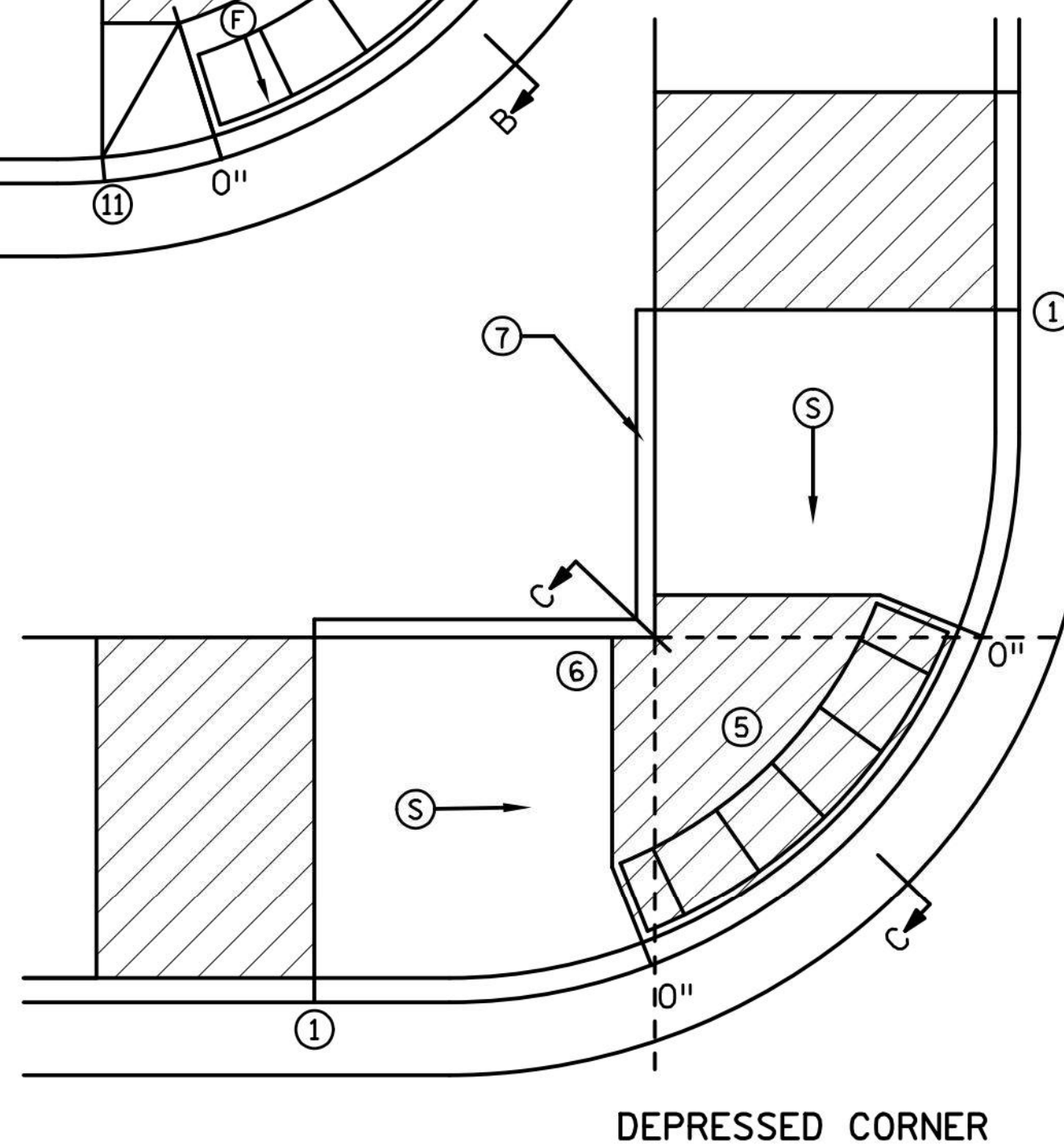
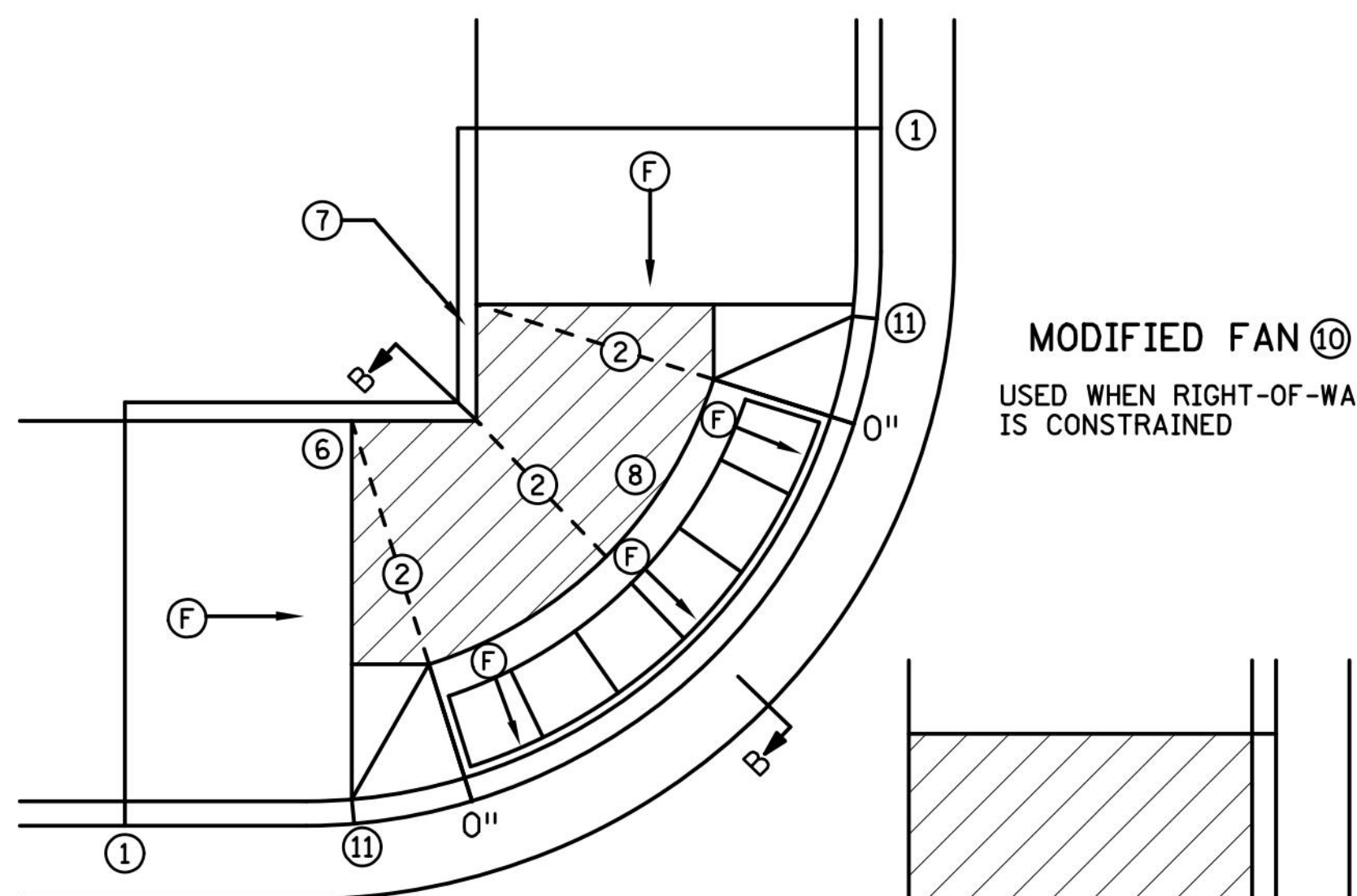
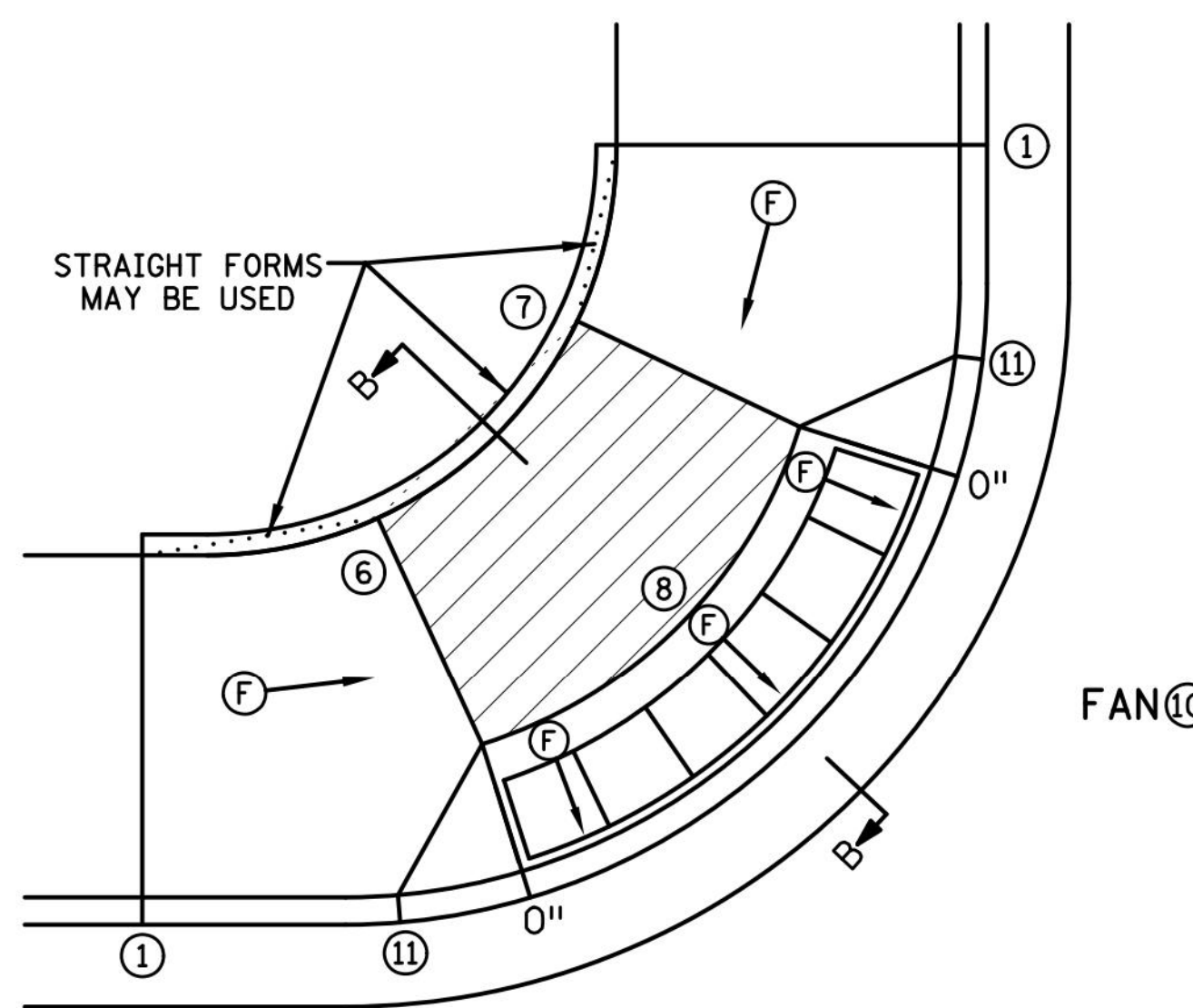
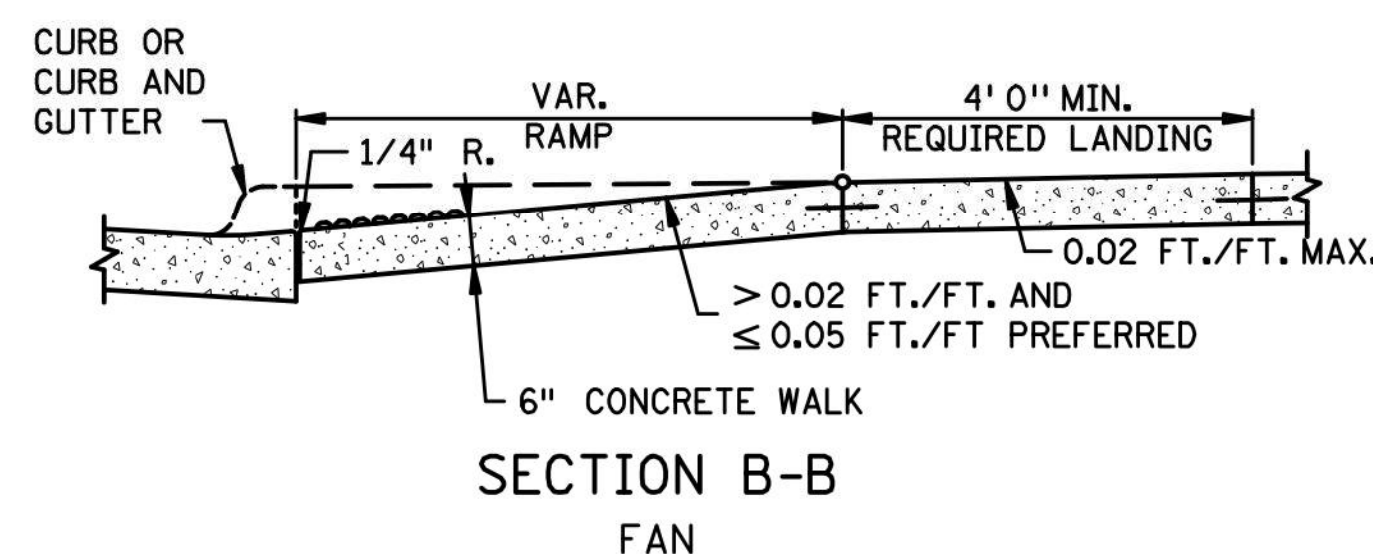
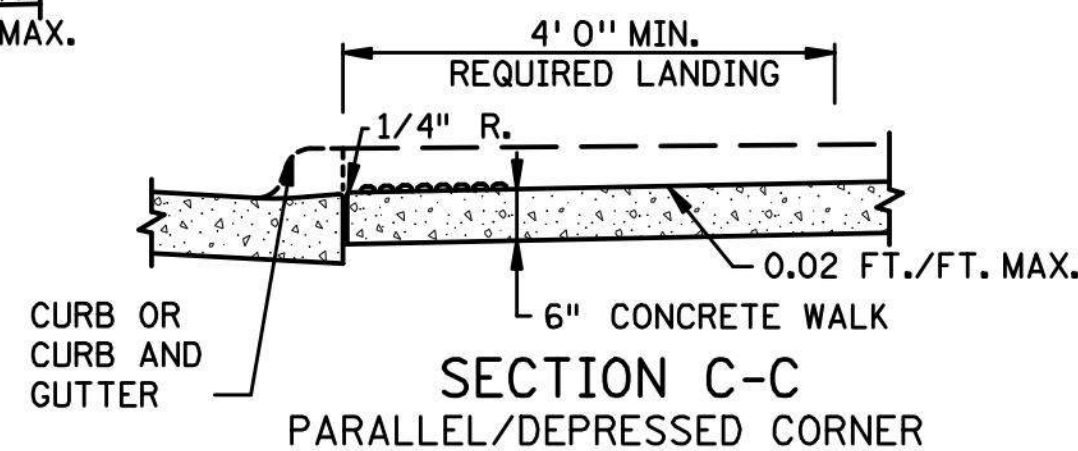
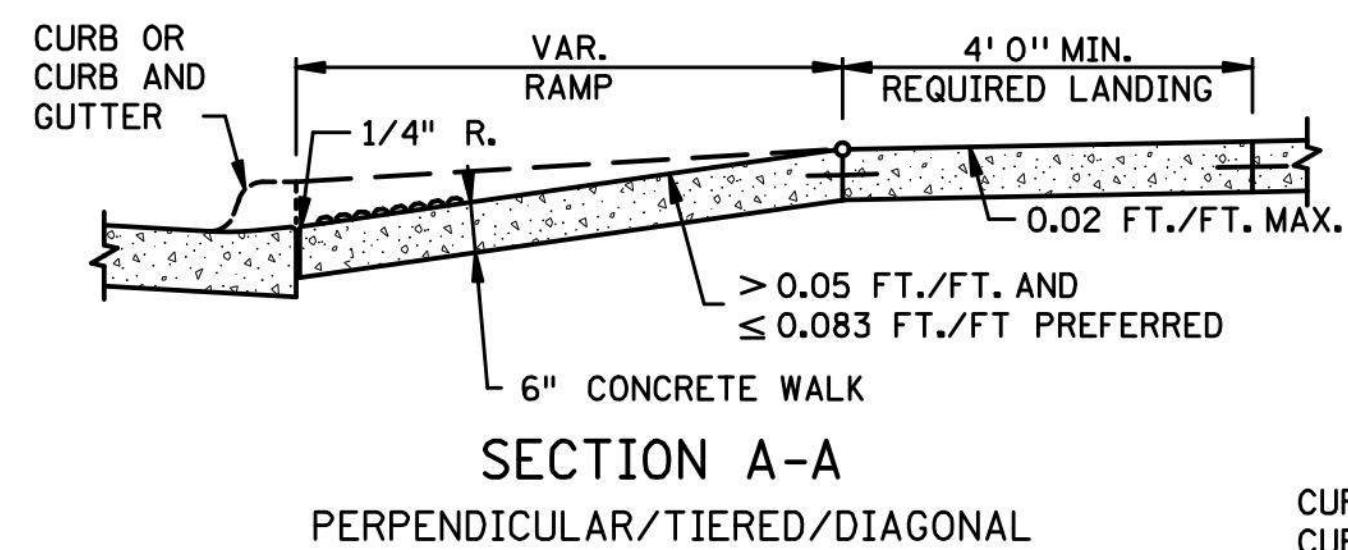
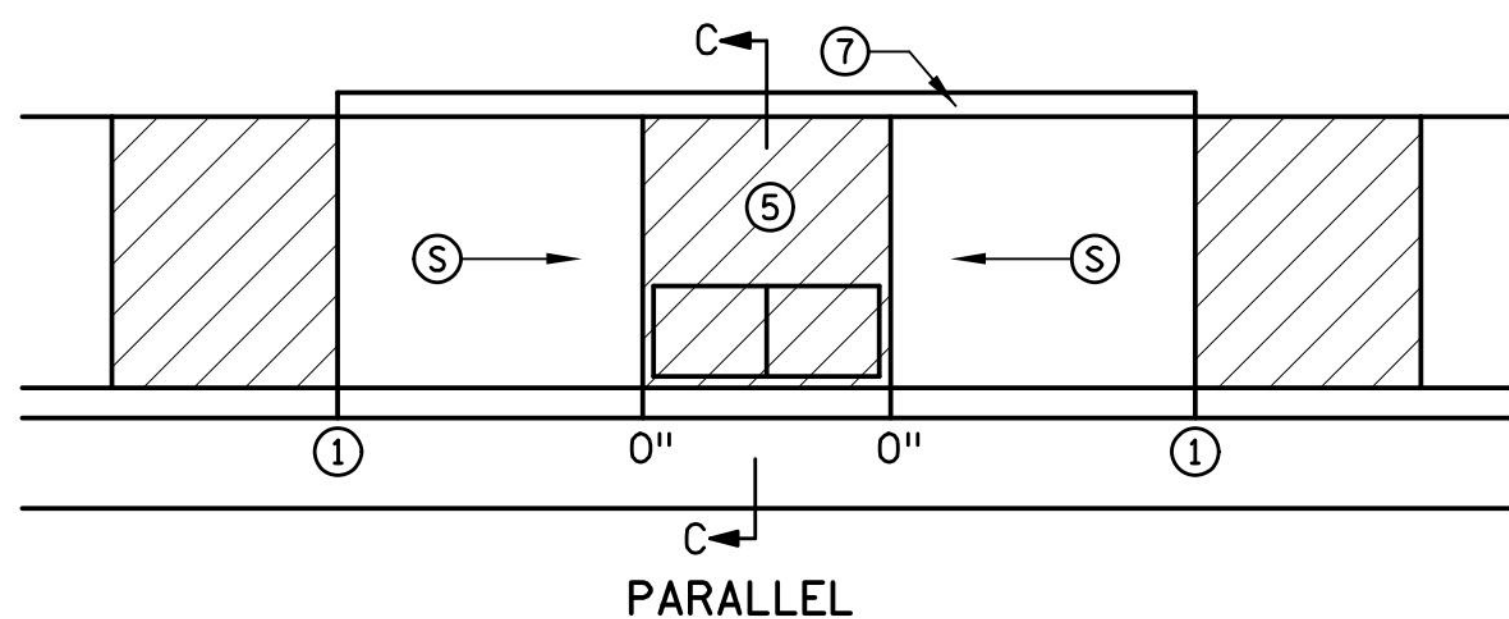
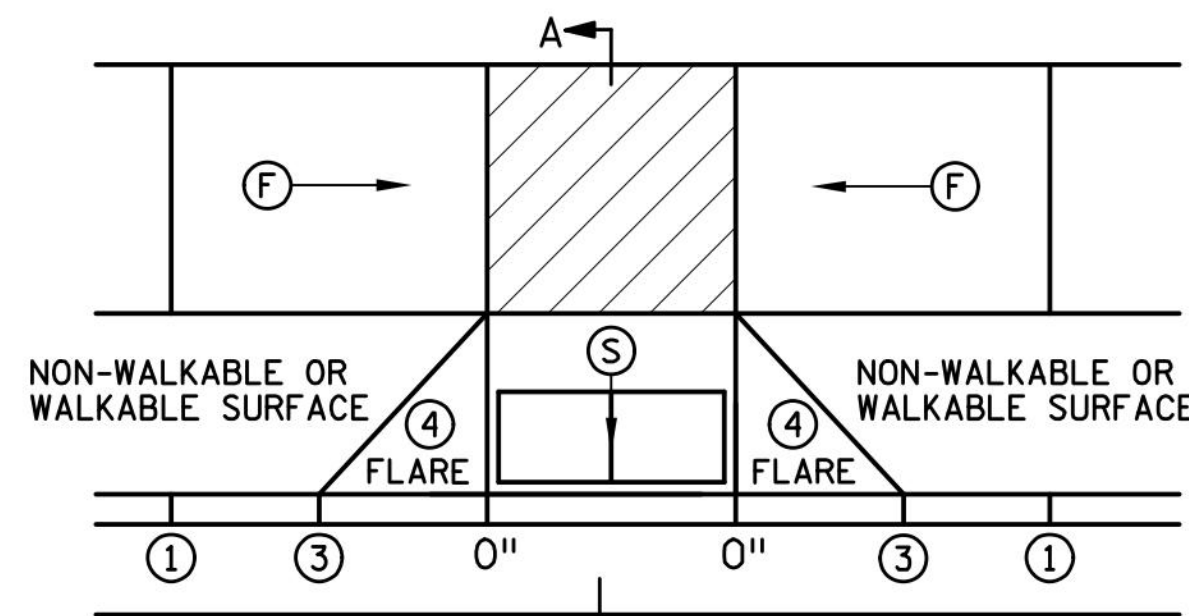
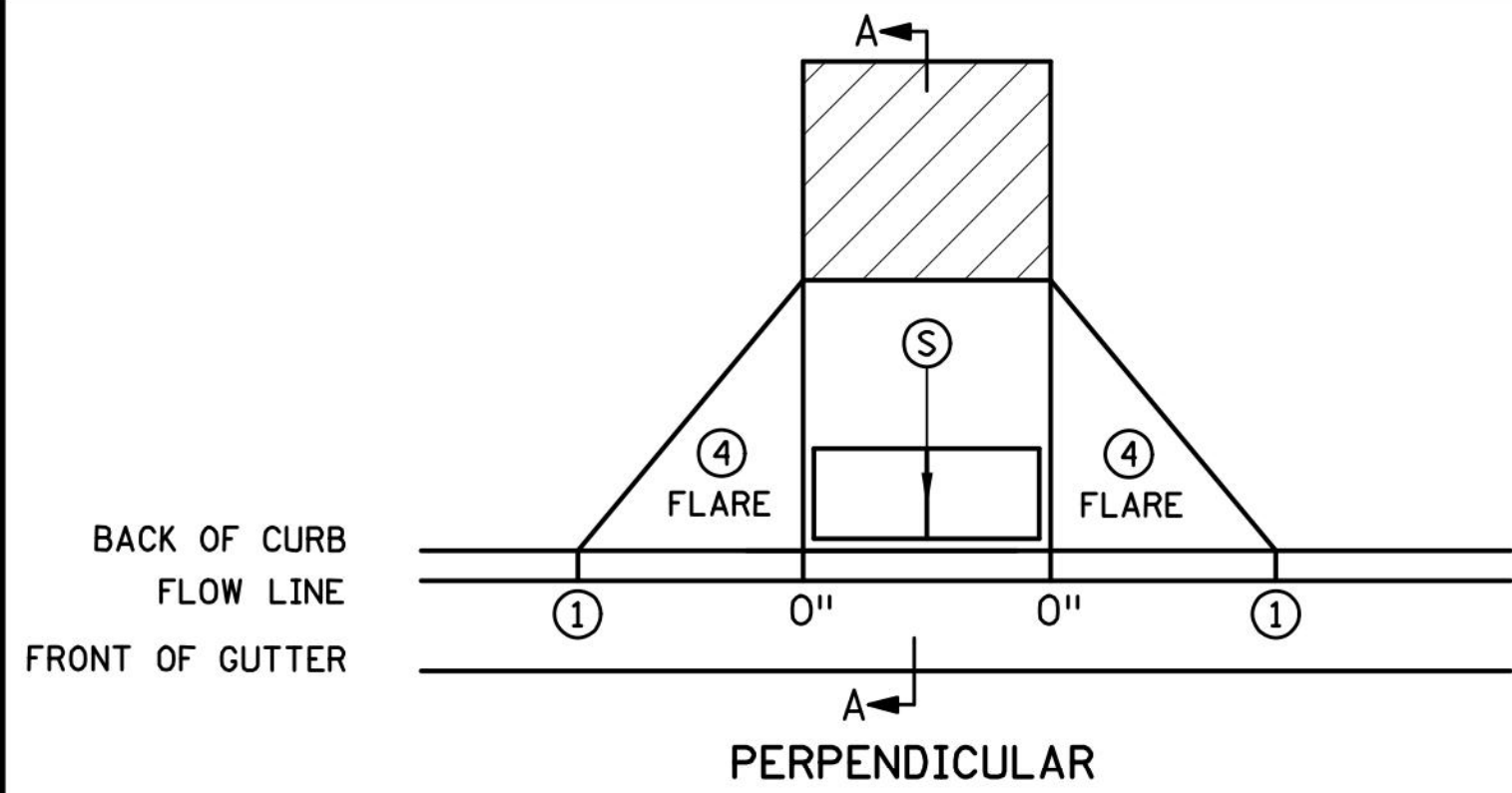
INLET PROTECTION TYPE B

* INSTALL WIMCO ROAD DRAIN OR APPROVED EQUAL MODEL #'S TO BE COMPATIBLE WITH THE CASTINGS USED ON PROJECT.

DATE	REVISION DESCRIPTION

DATE: FEBRUARY 2023	SCALE: AS SHOWN
DRAWN BY: FEB	CHECKED BY: TMH
JOB NUMBER: 2022-11786	

FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
PUD PLAN SET
CRYSTAL, MN
CIVIL DETAILS



NOTES:

- LANDINGS SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE (PAR) CHANGES DIRECTION, AT THE TOP OF RAMPS THAT HAVE RUNNING SLOPES GREATER THAN 5.0%, AND IF THE APPROACHING WALK IS INVERSE GRADE GREATER THAN 2%.
- INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 15' FROM THE BACK OF CURB, WITH 6' FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE, ONLY APPLICABLE WHEN THE INITIAL RAMP RUNNING SLOPE IS OVER 5.0%.
- SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30" OF VERTICAL RISE WHEN THE LONGITUDINAL RUNNING SLOPE IS GREATER THAN 5.0%.
- CONTRACTION JOINTS SHALL BE CONSTRUCTED ALONG ALL GRADE BREAKS WITHIN THE PAR. 1/4" DEEP VISUAL JOINTS SHALL BE USED AT THE TOPS OF CONCRETE FLARES ADJACENT TO WALKABLE SURFACES.
- ALL GRADE BREAKS WITHIN THE PAR SHALL BE PERPENDICULAR TO THE PATH OF TRAVEL. THUS BOTH SIDES OF A SLOPED WALKING SURFACE MUST BE EQUAL LENGTH. (EXCEPT AS STATED IN ⑥ BELOW.)
- TO ENSURE RAMPS AND LANDINGS ARE PROPERLY CONSTRUCTED, ALL INITIAL LANDINGS AT A TOP OF A RAMPED SURFACE (RUNNING SLOPE GREATER THAN 2%) SHALL BE FORMED AND PLACED SEPARATELY IN AN INDEPENDENT CONCRETE POUR. FOLLOW SIDEWALK REINFORCEMENT DETAILS ON SHEET 6 OF 6 FOR ALL SEPARATELY POURED INITIAL LANDINGS.
- WHEN SIDEWALK IS AT BACK OF CURB, TOP OF CURB SHALL MATCH PROPOSED ADJACENT WALK GRADE. MAINTAIN POSITIVE BOULEVARD DRAINAGE TO TOP OF CURB.
- ALL RAMP TYPES SHOULD HAVE A MINIMUM 3' LONG RAMP LENGTH.
- 4' MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMPS. DETECTABLE WARNINGS SHALL CONTINUOUSLY EXTEND FOR A MIN. OF 24" IN THE PATH OF TRAVEL. DETECTABLE WARNING TO COVER THE ENTIRE PAR WIDTH OF SHARED-USE PATHS AND THE ENTIRE PAR WIDTH OF THE WALK WITH THE EXCEPTION OF 3" MAXIMUM ON EACH OUTSIDE EDGE WHICH ENSURES THE DETECTABLE WARNINGS ARE ENCASED IN CONCRETE WHEN ADJACENT TO TURF. WHEN ADJACENT TO CONCRETE FLARES 0" - 3" OFFSET IS ALLOWED.
- WHEN DESIGNING OR ORDERING RECTANGULAR DETECTABLE WARNING SURFACES SHOULD BE 6" LESS THAN THE INCOMING PAR. ARC LENGTH OF THE RADIAL DETECTABLE WARNINGS SHOULD NOT BE GREATER THAN 20 FEET.
- RECTANGULAR DETECTABLE WARNINGS SHALL BE SETBACK 3" FROM THE BACK OF CURB. RADIAL DETECTABLE WARNINGS SHALL BE SETBACK 3" MINIMUM TO 6" MAXIMUM FROM THE BACK OF CURB.
- ① MATCH FULL HEIGHT CURB.
- ② 4' MINIMUM DEPTH LANDING REQUIRED ACROSS TOP OF RAMP.
- ③ 3" HIGH CURB WHEN USING A 3' LONG RAMP, 4" HIGH CURB WHEN USING A 4' LONG RAMP.
- ④ SEE SHEET 4 OF 6, TYPICAL SIDE TREATMENT OPTIONS, FOR DETAILS ON FLARES AND RETURNED CURBS.
- ⑤ DETECTABLE WARNINGS MAY BE PART OF THE 4' X 4' MIN. LANDING AREA IF IT IS NOT FEASIBLE TO CONSTRUCT THE LANDING OUTSIDE OF THE DETECTABLE WARNING AREA.
- ⑥ THE GRADE BREAK SHALL BE PERPENDICULAR TO THE BACK OF WALK. THIS WILL ENSURE THAT THE GRADE BREAK IS PERPENDICULAR TO THE DIRECTION OF TRAVEL. (TYPICAL FOR ALL)
- ⑦ WHEN ADJACENT TO GRASS, GRADING SHALL ALWAYS BE USED WHEN FEASIBLE. V CURB, IF USED, SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWS. WHEN ADJACENT TO PARKING LOTS, CONCRETE OR BITUMINOUS TAPERS LESS THAN 5% RUNNING SLOPE SHOULD BE USED OVER V CURB TO REDUCE TRIPPING HAZARDS AND FACILITATE SNOW & ICE REMOVAL.
- ⑧ A 7' MIN TOP RADIUS GRADE BREAK IS REQUIRED TO BE CONSTRUCTIBLE.
- ⑨ PAVE FULL WALK WIDTH.
- ⑩ "S" SLOPES ON FANS SHALL ONLY BE USED WHEN ALL OTHER FEASIBLE OPTIONS HAVE BEEN EVALUATED AND DEEMED IMPRACTICAL.
- ⑪ INTERMEDIATE CURB HEIGHTS TAPER SHALL RISE AT 8-10% TO A MINIMUM 3" CURB HEIGHT. REDUCE INTERMEDIATE CURB HEIGHT TO 2+ INCHES IF NECESSARY TO MATCH ADJACENT BOULEVARD OR SIDEWALK GRADES.

LEGEND	
(S)	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MINIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND THE CROSS SLOPE SHALL NOT EXCEED 2.0%.
(F)	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE GREATER THAN 2.0% AND LESS THAN 5.0% IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%.
[Hatched Box]	LANDING AREA - 4' X 4' MIN. (5' X 5' MIN. PREFERRED) DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS. LANDING SHALL BE FULL WIDTH OF INCOMING PARS.
X"	CURB HEIGHT

REVISION:
APPROVED: 11-04-2021
Jeff J. Perkins
JEFF PERKINS
OPERATIONS DIVISION

m MINNESOTA DEPARTMENT OF TRANSPORTATION
STANDARD PLAN 5-297.250 1 OF 6
APPROVED: 11-04-2021
REVISOR:
Tom Styrbicki
THOMAS STYRBICKI
STATE DESIGN ENGINEER

PEDESTRIAN CURB RAMP DETAILS
(TH) SHEET NO. OF SHEETS
STATE PROJ. NO. (TH) SHEET NO. OF SHEETS

WIDSETH ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

DATE: FEBRUARY 2023 AS SHOWN
SCALE: FEB
DRAWN BY: TMH
CHECKED BY: TMH
JOB NUMBER: 2022-11796

FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
PUD PLAN SET
CRYSTAL, MN
CIVIL DETAILS

SHEET NO. **C1.7**

NOTES:

LANDINGS SHALL BE LOCATED ANYWHERE THE PEDESTRIAN ACCESS ROUTE (PAR) CHANGES DIRECTION, AT THE TOP OF RAMPS THAT HAVE RUNNING SLOPES GREATER THAN 5.0%, AND IF THE APPROACHING WALK IS INVERSE GRADE.

INITIAL CURB RAMP LANDINGS SHALL BE CONSTRUCTED WITHIN 15' FROM THE BACK OF CURB, WITH 6' FROM THE BACK OF CURB BEING THE PREFERRED DISTANCE, ONLY APPLICABLE WHEN THE INITIAL RAMP RUNNING SLOPE IS OVER 5.0%.

SECONDARY CURB RAMP LANDINGS ARE REQUIRED FOR EVERY 30" OF VERTICAL RISE WHEN THE LONGITUDINAL SLOPE IS GREATER THAN 5.0%.

CONTRACTION JOINTS SHALL BE CONSTRUCTED ALONG ALL GRADE BREAKS WITHIN THE PAR. 1/4" DEEP VISUAL JOINTS SHALL BE USED AT THE TOP GRADE BREAK OF CONCRETE FLARES ADJACENT TO WALKABLE SURFACES.

ALL GRADE BREAKS WITHIN THE PAR SHALL BE PERPENDICULAR TO THE PATH OF TRAVEL. THUS BOTH SIDES OF A SLOPED WALKING SURFACE MUST BE EQUAL LENGTH.

TO ENSURE INITIAL RAMPS AND INITIAL LANDINGS ARE PROPERLY CONSTRUCTED, LANDINGS SHALL BE CAST SEPARATELY, FOLLOW SIDEWALK REINFORCEMENT DETAILS ON SHEET 6 AND THE ADA SPECIAL PROVISION (PROSECUTION OF WORK).

TOP OF CURB SHALL MATCH PROPOSED ADJACENT WALK GRADE.

WHEN THE BOULEVARD IS 4' WIDE OR LESS, THE TOP OF CURB TAPER SHALL MATCH THE RAMP SLOPES TO REDUCE NEGATIVE BOULEVARD SLOPES FROM THE TOP BACK OF CURB TO THE PAR.

ALL RAMP TYPES SHOULD HAVE A MINIMUM 3' LONG RAMP LENGTH.

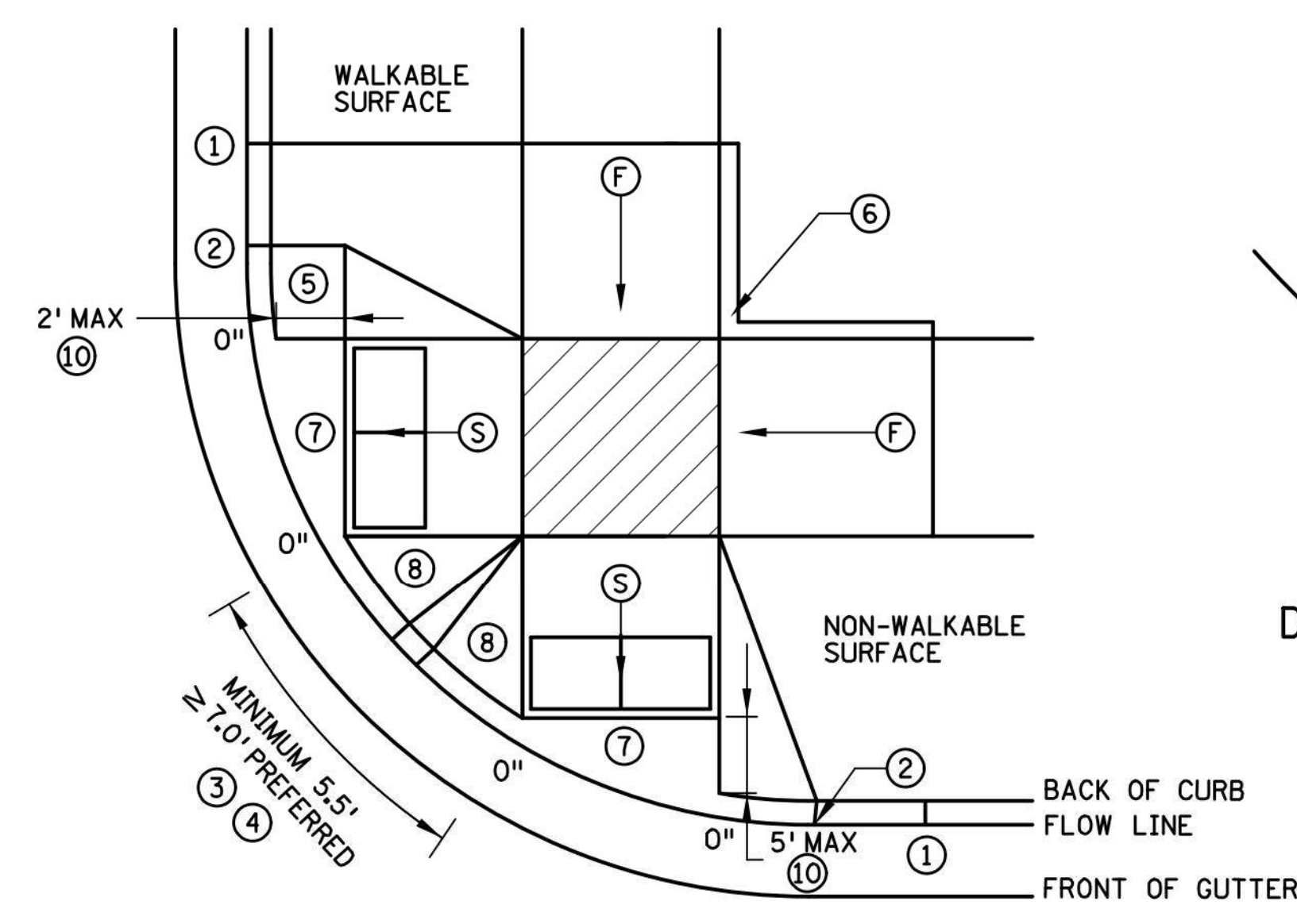
4' MINIMUM WIDTH OF DETECTABLE WARNING IS REQUIRED FOR ALL RAMPS. DETECTABLE WARNINGS SHALL CONTINUOUSLY EXTEND FOR A MIN. OF 24" IN THE PATH OF TRAVEL. DETECTABLE WARNING TO COVER THE ENTIRE PAR WIDTH OF SHARED-USE PATHS AND THE ENTIRE PAR WIDTH OF THE WALK WITH THE EXCEPTION OF 3" MAXIMUM ON EACH OUTSIDE EDGE WHICH ENSURES THE DETECTABLE WARNINGS ARE ENCASED IN CONCRETE WHEN ADJACENT TO TURF. WHEN ADJACENT TO CONCRETE FLARES 0" - 3" OFFSET IS ALLOWED.

WHEN DESIGNING OR ORDERING RECTANGULAR DETECTABLE WARNING SURFACES SHOULD BE 6" LESS THAN THE INCOMING PAR. ARC LENGTH OF THE RADIAL DETECTABLE WARNINGS SHOULD NOT BE GREATER THAN 20 FEET.

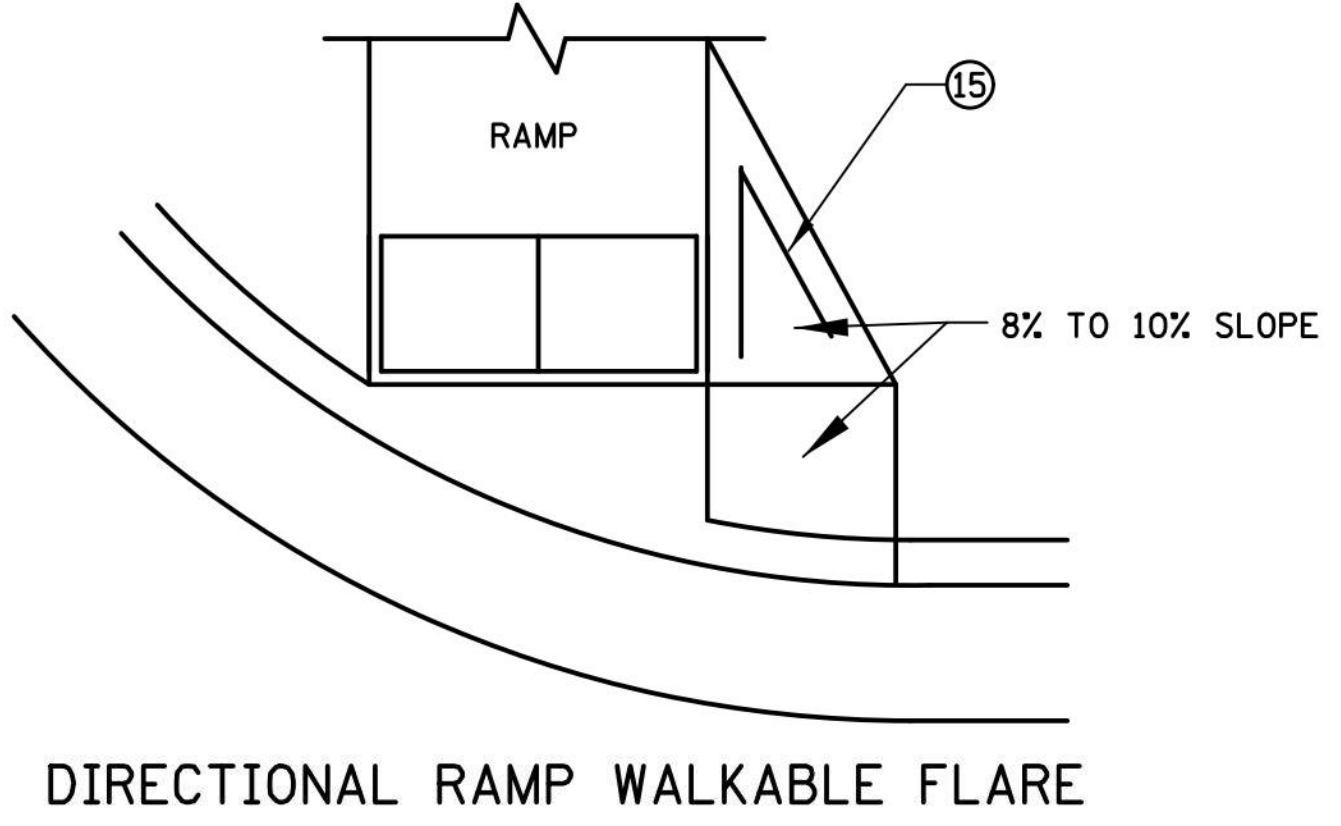
RADIAL DETECTABLE WARNINGS SHALL BE SETBACK 3" MINIMUM TO 6" MAXIMUM FROM THE BACK OF CURB. SEE NOTES ⑩ & ⑪ FOR INFORMATION REGARDING RECTANGULAR DETECTABLE WARNING PLACEMENT.

- ① MATCH FULL CURB HEIGHT.
- ② 3" HIGH CURB WHEN USING A 3' LONG RAMP
4" HIGH CURB WHEN USING A 4' LONG RAMP.
- ③ 3" MINIMUM CURB HEIGHT (5.5' MIN. DISTANCE REQUIRED BETWEEN DOMES)
4" PREFERRED (7' MIN. DISTANCE REQUIRED BETWEEN DOMES).
- ④ THE "BUMP" IN BETWEEN THE RAMPS SHOULD NOT BE IN THE PATH OF TRAVEL FOR COMBINED DIRECTIONAL RAMPS. IF THIS OCCURS MODIFY THE RAMP LOCATION OR SWITCH RAMP TO A FAN/DEPRESSED CORNER.
- ⑤ WHEN USING CONCRETE PAVED FLARES ON THE OUTSIDE OF DIRECTIONAL RAMPS, AND ADJACENT TO A WALKABLE SURFACE, DIRECTIONAL RAMP FLARES SHALL BE USED. SEE THE DETAIL ON THIS SHEET.
- ⑥ GRADING SHALL ALWAYS BE USED WHEN FEASIBLE. V CURB, IF USED, SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWS. WHEN ADJACENT TO PARKING LOTS, CONCRETE OR BITUMINOUS TAPERS SHOULD BE USED OVER V CURB TO REDUCE TRIPPING HAZARDS AND FACILITATE SNOW & ICE REMOVAL.
- ⑦ MAX. 2.0% SLOPE IN ALL DIRECTIONS IN FRONT OF GRADE BREAK AND DRAIN TO FLOW LINE. SHALL BE CONSTRUCTED INTEGRAL WITH CURB AND GUTTER.
- ⑧ 8% TO 10% WALKABLE FLARE.
- ⑨ PLACE DOMES AT THE BACK OF CURB WHEN ALLOWABLE SETBACK CRITERIA IS EXCEEDED.
- ⑩ FRONT EDGE OF DETECTABLE WARNING SHALL BE SET BACK 2' MAXIMUM WHEN ADJACENT TO WALKABLE SURFACE AND 5' MAXIMUM WHEN ADJACENT TO NON-WALKABLE SURFACE WITH ONE CORNER SET 3" FROM BACK OF CURB. A WALKABLE SURFACE IS DEFINED AS A PAVED SURFACE ADJACENT TO A CURB RAMP WITHOUT RAISED OBSTACLES THAT COULD MISTAKENLY BE TRAVERSED BY A USER WHO IS VISUALLY IMPAIRED.
- ⑪ RECTANGULAR DETECTABLE WARNINGS MAY BE SETBACK UP TO 9" FROM THE BACK OF CURB WITH CORNERS SET 3" FROM BACK OF CURB. IF 9" SETBACK IS EXCEEDED USE RADIAL DETECTABLE WARNINGS.
- ⑫ FOR DIRECTIONAL RAMPS WITH THE DETECTABLE WARNINGS PLACED AT THE BACK OF CURB, THE DETECTABLE WARNINGS SHALL COVER THE ENTIRE WIDTH OF THE WALK/PATH. THIS ENSURES A DETECTABLE EDGE AND HELPS ELIMINATE THE CURB TAPER OBSTRUCTING THE PATH OF PEDESTRIAN TRAVEL.
- ⑬ THE CONCRETE WALK SHALL BE FORMED AND CONSTRUCTED PERPENDICULAR TO THE BACK OF CURB. MAINTAIN 3" BETWEEN EDGE OF DOMES AND EDGE OF CONCRETE.
- ⑭ TO BE USED FOR ALL DIRECTIONAL RAMPS, EXCEPT WHERE DOMES ARE PLACED ALONG THE BACK OF CURB.
- ⑮ PLACE 2 NO. 4 BARS 4 INCHES FROM SIDE OF FORMS WITH A MINIMUM 2 INCHES OF CONCRETE COVER ALONG EACH SIDE OF FLARE (INCIDENTAL).

LEGEND	
THESE LONGITUDINAL SLOPE RANGES SHALL BE THE STARTING POINT. IF SITE CONDITIONS WARRANT, LONGITUDINAL SLOPES UP TO 8.3% OR FLATTER ARE ALLOWED.	
Ⓢ	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MINIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND THE CROSS SLOPE SHALL NOT EXCEED 2.0%.
Ⓣ	INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE GREATER THAN 2.0% AND LESS THAN 5.0% IN THE DIRECTION SHOWN AND CROSS SLOPE SHALL NOT EXCEED 2.0%.
[Hatched Box]	LANDING AREA - 4' X 4' MIN. (5' X 5' MIN. PREFERRED) DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS. LANDING SHALL BE FULL WIDTH OF INCOMING PAR.
X"	CURB HEIGHT

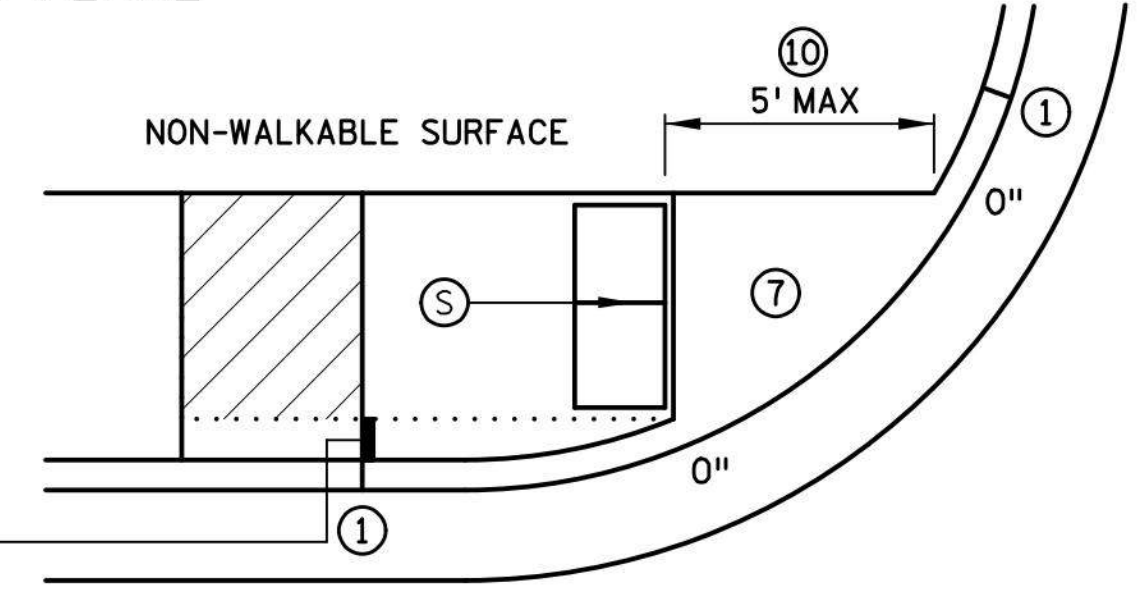


COMBINED DIRECTIONAL

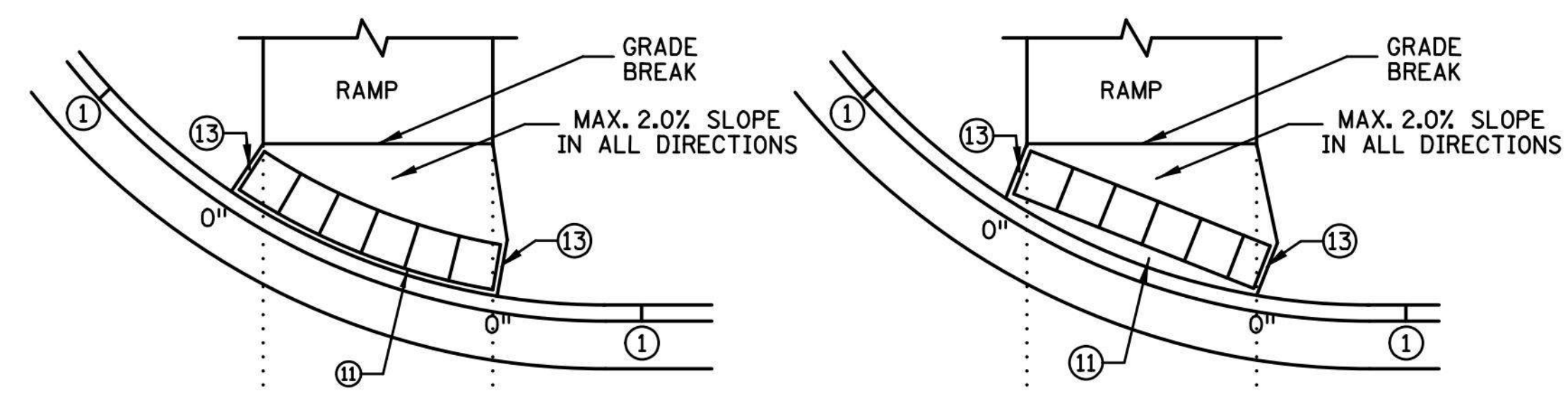


DIRECTIONAL RAMP WALKABLE FLARE

IF NON-CONCRETE BLVD. IS CONSTRUCTED AND IS LESS THAN 2' IN WIDTH AT TOP OF CURB TRANSITION, PAVE CONCRETE RAMP WIDTH TO ADJACENT BACK OF CURB.

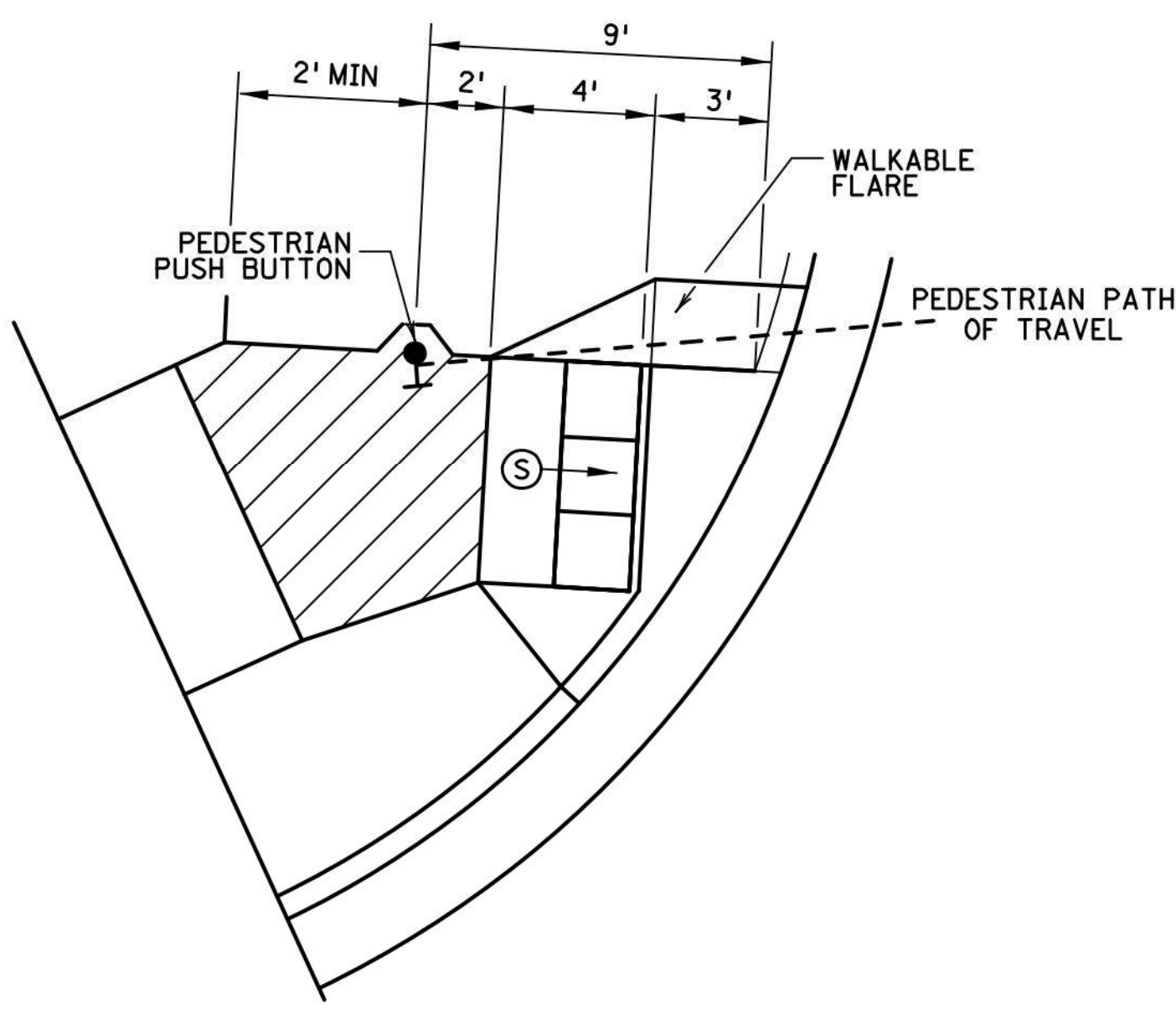


STANDARD ONE-WAY DIRECTIONAL ⑨



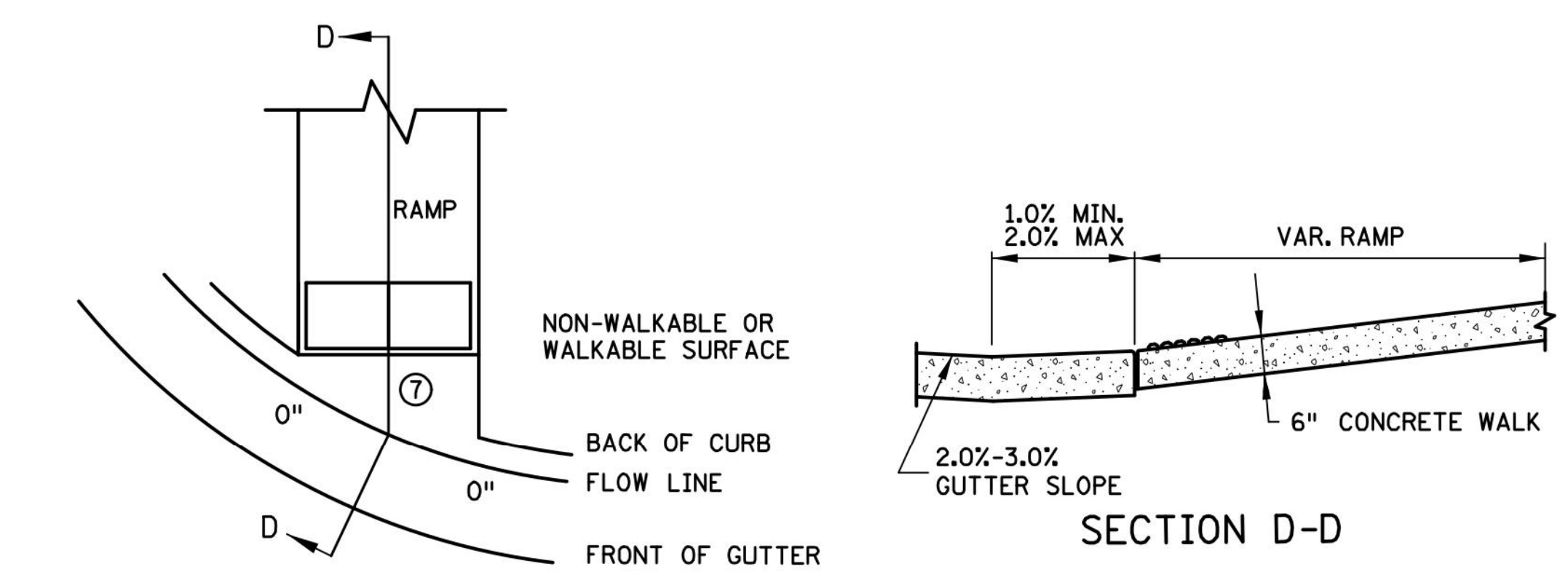
DETECTABLE WARNING PLACEMENT WHEN SETBACK CRITERIA IS EXCEEDED ⑫

ONE-WAY DIRECTIONAL WITH DETECTABLE WARNING AT BACK OF CURB



SEMI-DIRECTIONAL RAMP ③④⑨

3' DOME SETBACK, 4' LONG RAMP AND PUSH BUTTON 9' FROM THE BACK OF CURB
PRIMARYLY USED FOR APS APPLICATIONS WHERE THE PAR DOES NOT CONTINUE PAST THE PUSH BUTTON (DEAD-END SIDEWALK)



CURB FOR DIRECTIONAL RAMPS ⑭

REVISION:
APPROVED: 11-04-2021
Jeff J. Perkins
JEFFREY PERKINS
OPERATIONS DIVISION

m
MINNESOTA
DEPARTMENT
OF
TRANSPORTATION

STANDARD PLAN 5-297.250 2 OF 6
Tom S...
THOMAS TYRBICKI
STATE DESIGN ENGINEER
APPROVED: 11-04-2021
REVISED:
STATE PROJ. NO. (T.H.) SHEET NO. OF SHEETS

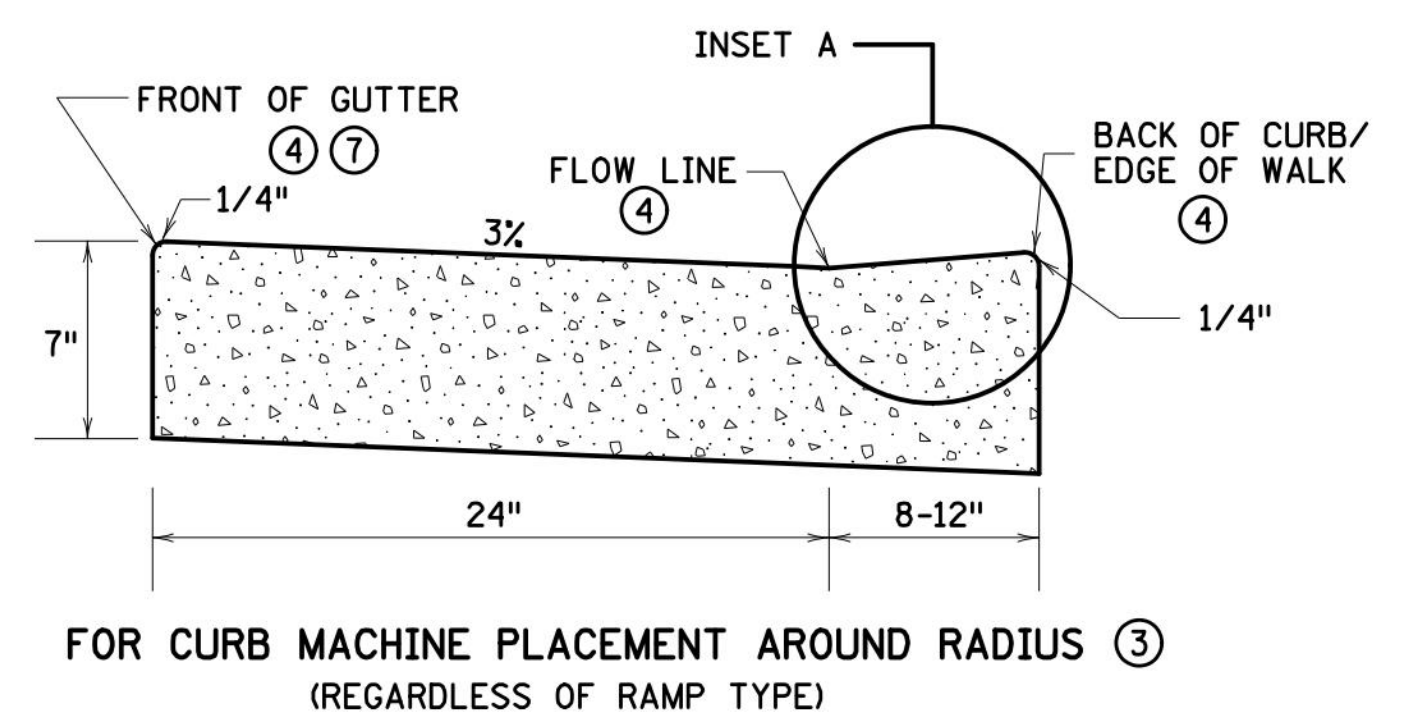
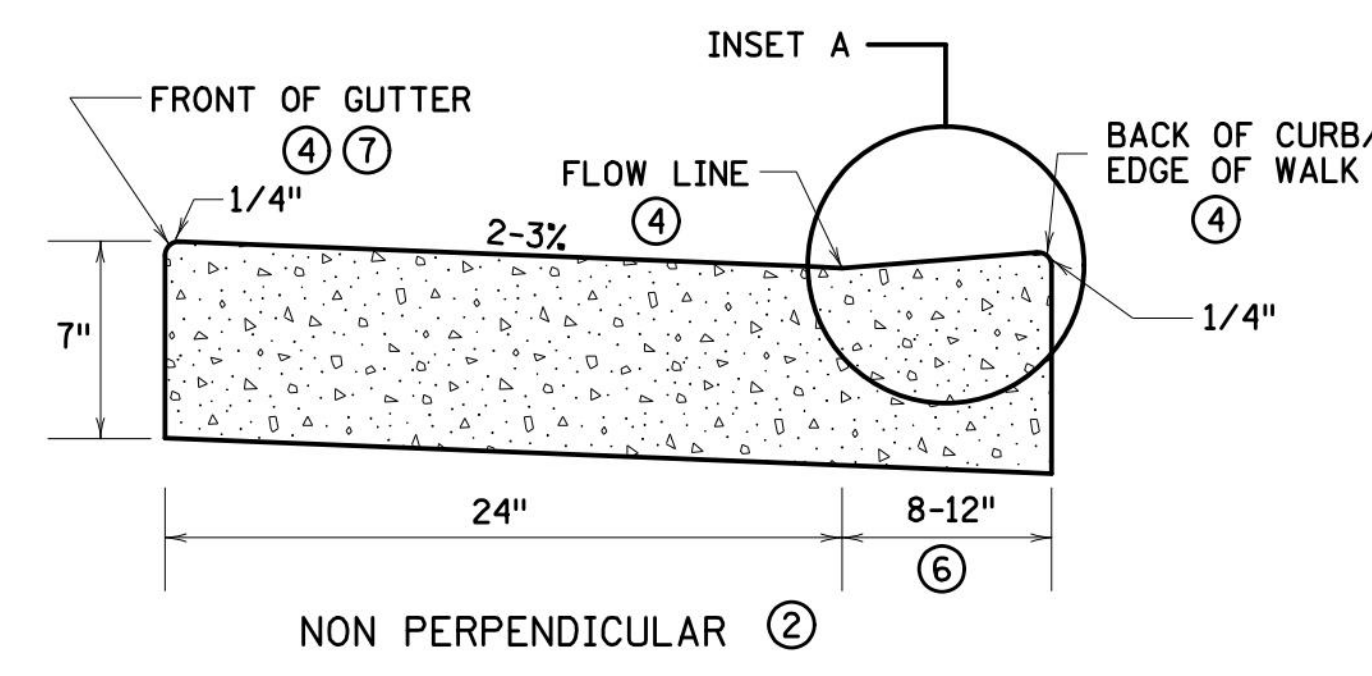
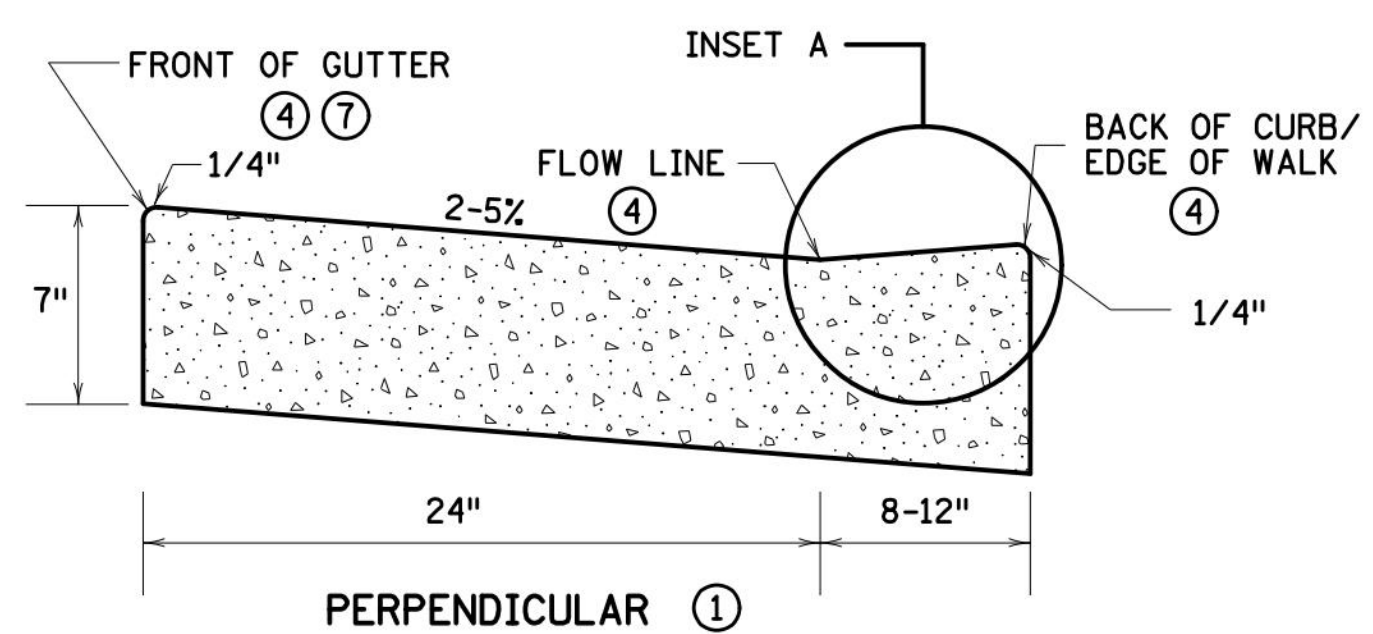
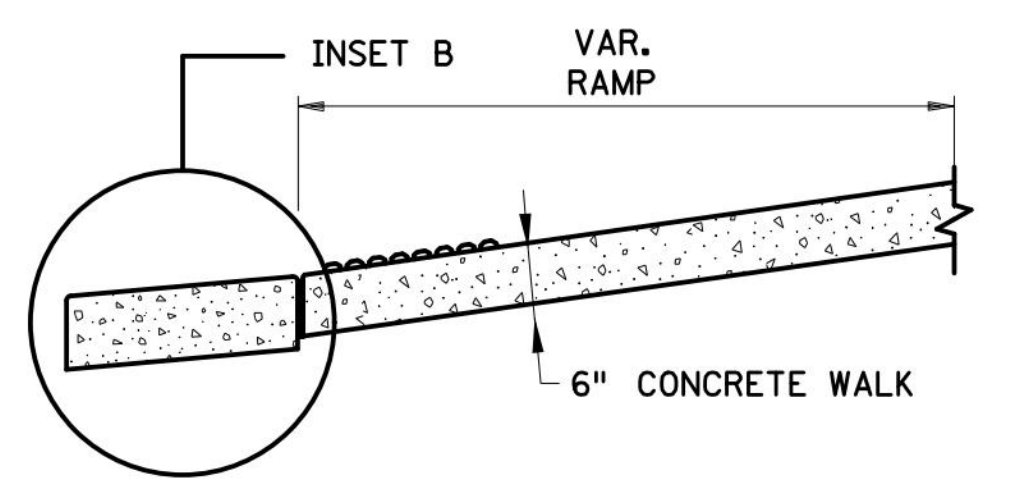
PEDESTRIAN CURB RAMP DETAILS

FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
PUD PLAN SET
CRYSTAL, MN
CIVIL DETAILS

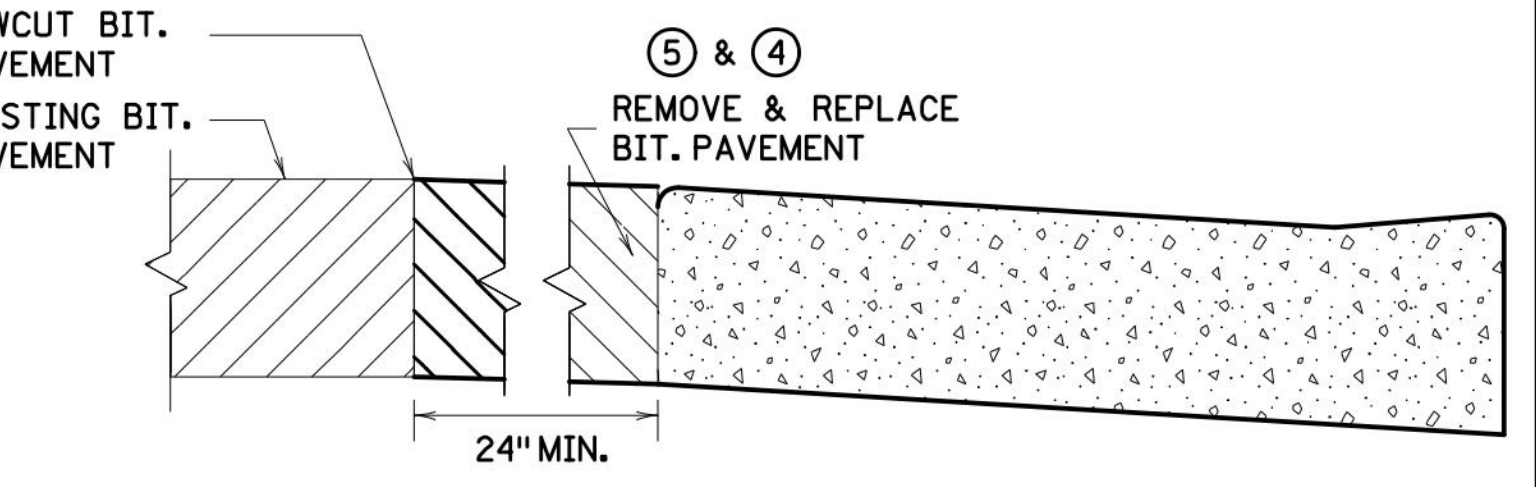
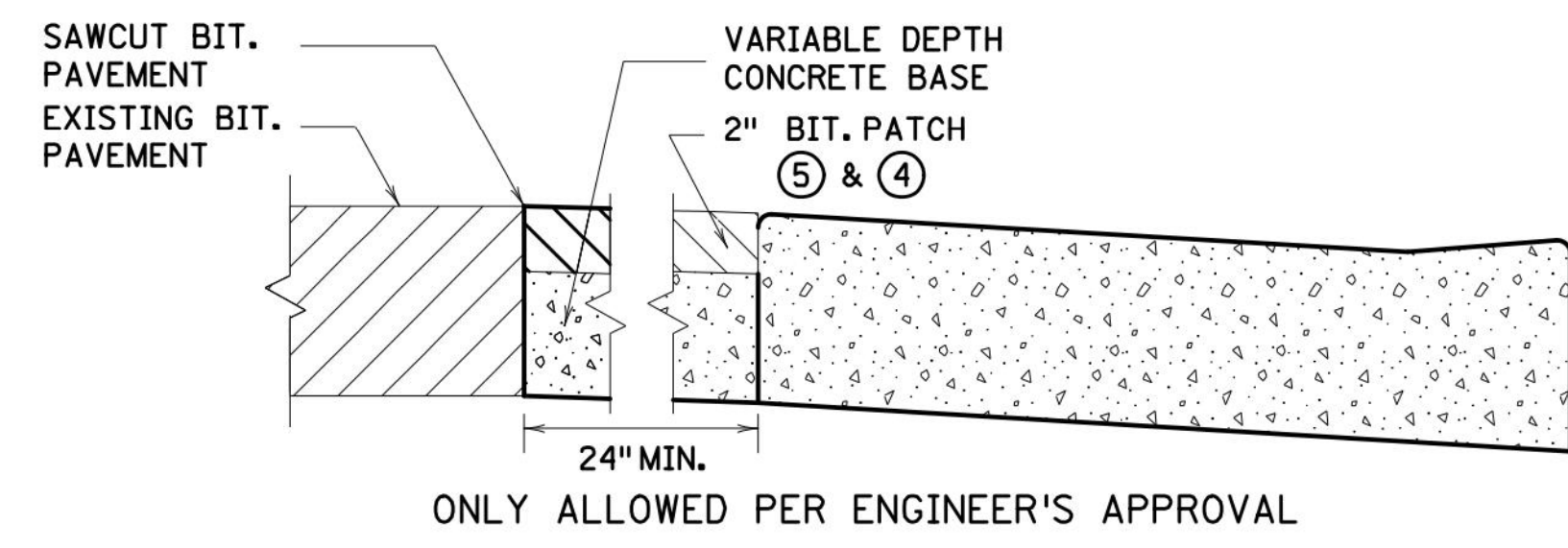
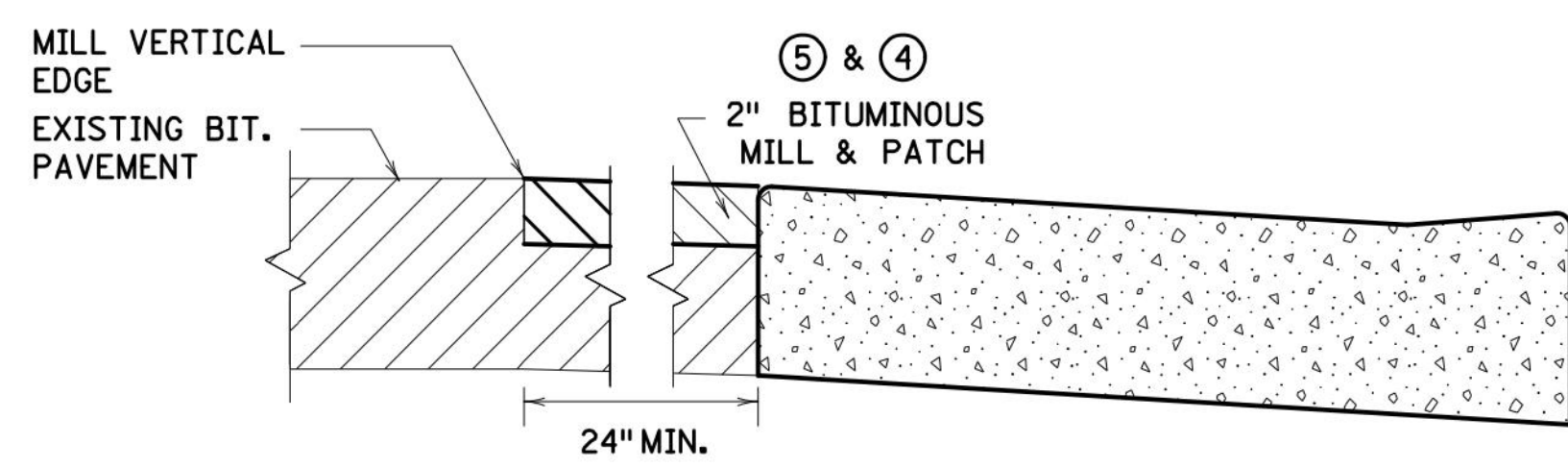
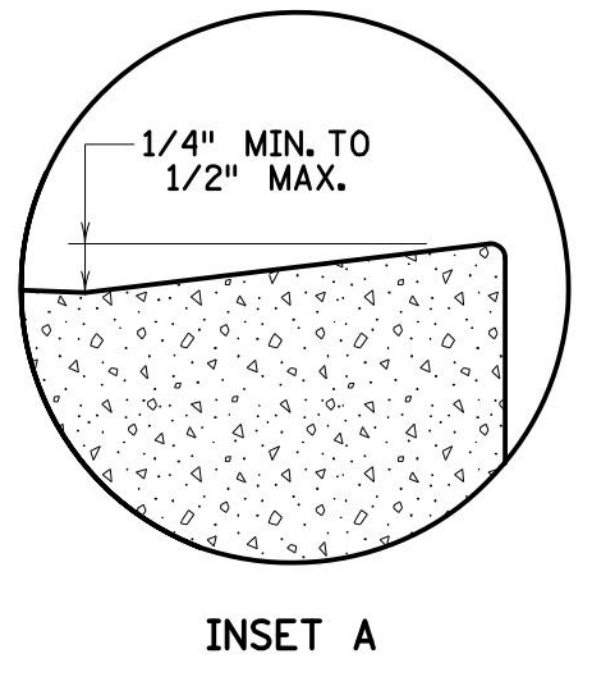
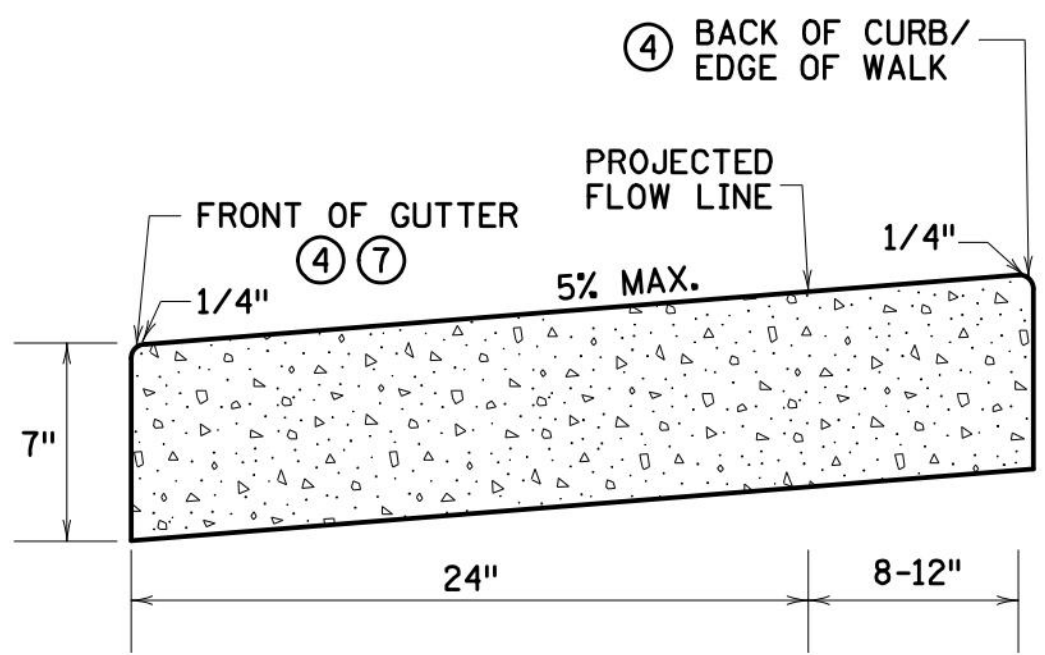
DATE	REVISION DESCRIPTION	BY

DATE: FEBRUARY 2023	AS SHOWN
SCALE: AS SHOWN	FEB
DRAWN BY: T.M.H.	CHECKED BY: T.M.H.
JOB NUMBER: 2022-11786	

FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
PUD PLAN SET
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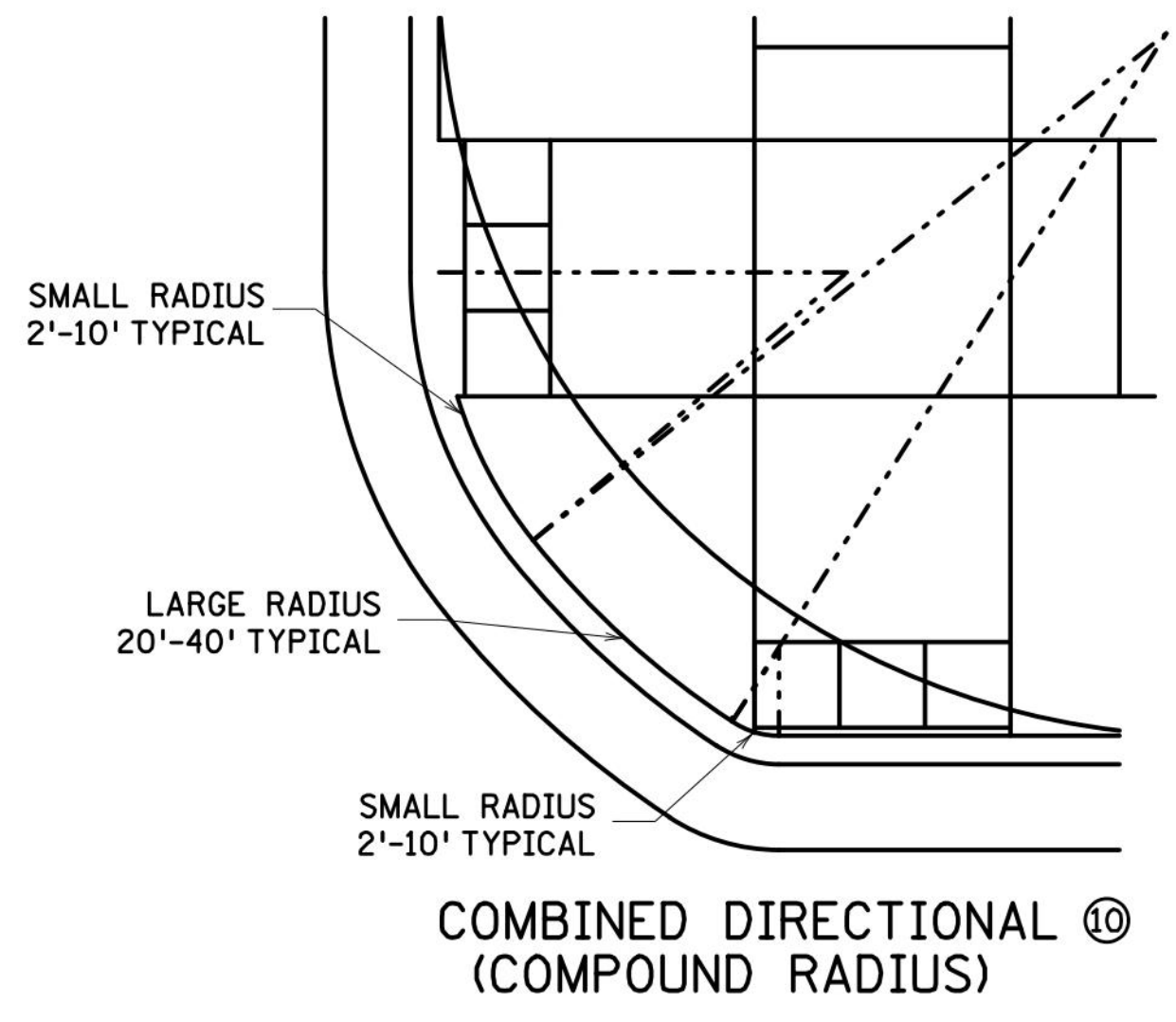
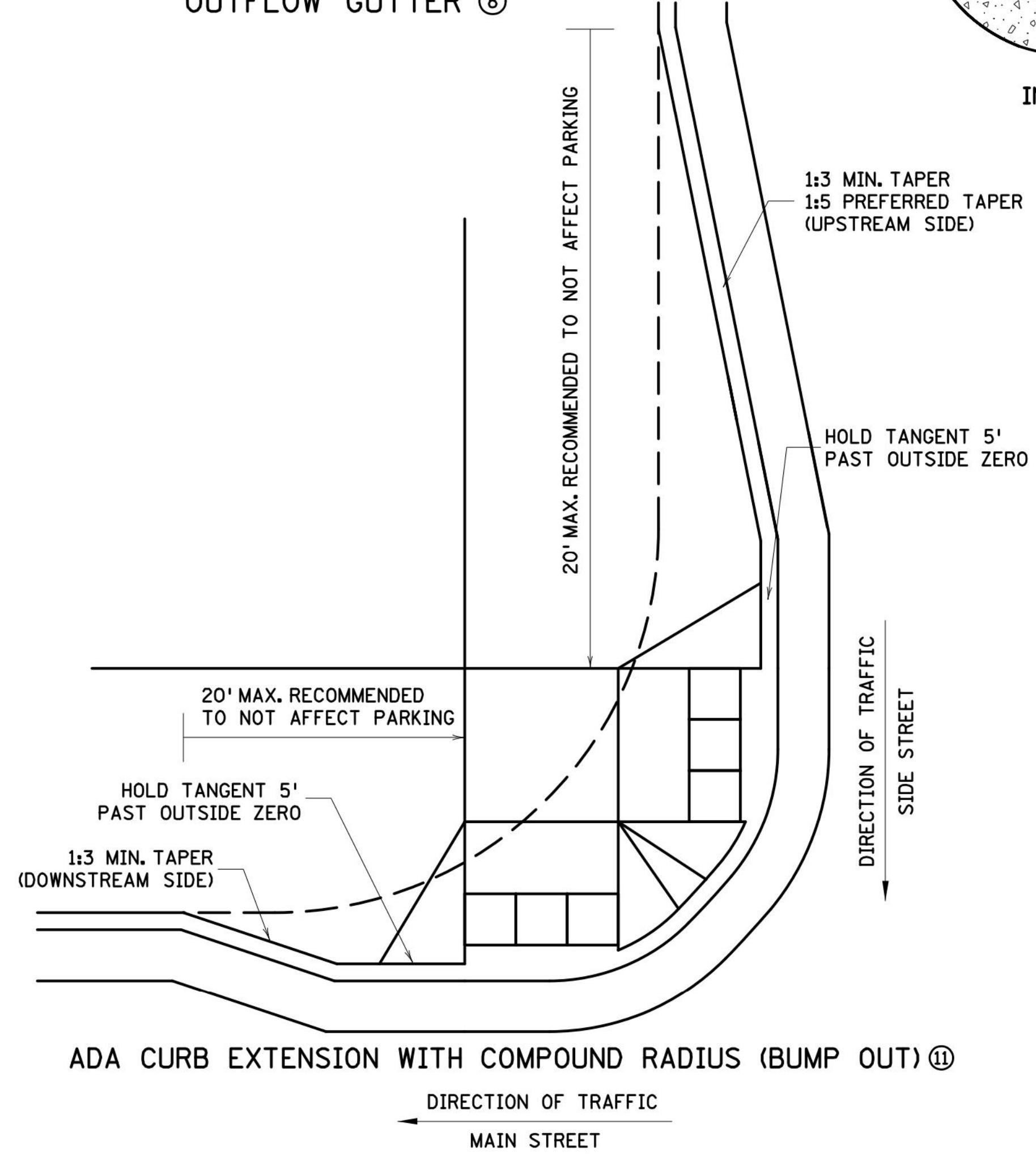


PEDESTRIAN ACCESS ROUTE CURB & GUTTER DETAIL



PAVEMENT TREATMENT OPTIONS IN FRONT OF CURB & GUTTER
FOR USE ON CURB RAMP RETROFITS

- NOTES:**
- POSITIVE FLOW LINE DRAINAGE SHALL BE MAINTAINED THROUGH THE PEDESTRIAN ACCESS ROUTE (PAR) AT A 2% MAXIMUM. NO PONDING SHALL BE PRESENT IN THE PAR.
 - ANY VERTICAL LIP THAT OCCURS AT THE FLOW LINE SHALL NOT BE GREATER THAN 1/4 INCH.
 - ① FOR USE AT CURB CUTS WHERE THE PEDESTRIAN'S PATH OF TRAVEL IS ASSUMED PERPENDICULAR TO THE GUTTER FLOW LINE. RAMP TYPES INCLUDE: PERPENDICULAR, TIERED PERPENDICULAR, PARALLEL, AND DIAGONAL RAMPS.
 - ② FOR USE AT CURB RAMPS WHERE THE PEDESTRIAN'S PATH OF TRAVEL IS ASSUMED NON PERPENDICULAR TO THE GUTTER FLOW LINE. RAMP TYPES INCLUDE: FANS & DEPRESSED CORNERS.
 - ③ BEGIN GUTTER SLOPE TRANSITION 10' OUTSIDE OF ALL CURB RAMPS.
 - ④ THERE SHALL BE NO VERTICAL DISCONTINUITIES GREATER THAN 1/4".
 - ⑤ ELEVATION CHANGE TAKES PLACE FROM THE EXISTING TO NEW FRONT OF GUTTER. PATCH IS USED TO MATCH THE NEW GUTTER FACE INTO THE EXISTING ROADWAY.
 - ⑥ VARIABLE WIDTH FOR DIRECTIONAL CURB APPLICATIONS. SEE SHEET 2 FOR DIRECTIONAL CURB SLOPE REQUIREMENTS.
 - ⑦ TOP FRONT OF GUTTER SHALL BE CONSTRUCTED FLUSH WITH PROPOSED ADJACENT PAVEMENT ELEVATION. TOP 1.5" OF THE GUTTER FACE MUST BE A FORMED EDGE. PAR GUTTER SHALL NOT BE OVERLAID.
 - ⑧ SHOULD BE USED AT VERTICALLY CONSTRAINED AREAS WHEN AT A DRAINAGE HIGH POINT OR SUPER ELEVATED ROADWAY SEGMENTS.
 - ⑨ DRILL AND GROUT NO. 4 EPOXY-COATED 18" LONG TIE BARS AT 30" CENTER TO CENTER INTO EXISTING CONCRETE PAVEMENT 1" MINIMUM FROM ALL JOINTS.
 - ⑩ HELPS PROVIDE TWO SEPARATE RAMPS, REDUCES THE DOME SETBACK LENGTH AND MINIMIZES DIRECTIONAL CURB. THIS RADIUS DESIGN CLOSELY FOLLOWS THE TURNING VEHICLE PATH WHILE OPTIMIZING CURB RAMP LENGTH.
 - ⑪ CURB EXTENSIONS SHOULD BE USED IN VERTICALLY CONSTRAINED AREAS, USUALLY IN DOWNTOWN ROADWAY SEGMENTS WHERE ON-STREET PARKING IS AVAILABLE. CURB EXTENSIONS SHOULD BE CONSIDERED FOR APS INTERSECTIONS WHERE SPACE IS LIMITED. PUSH BUTTONS MUST MEET APS CRITERIA AS DESCRIBED IN THE PUSH BUTTON LOCATION DETAIL SHEET.



REVISIONS:
APPROVED: 11-04-2021
Jeff J. Perkins
JEFF PERKINS
OPERATIONS DIVISION

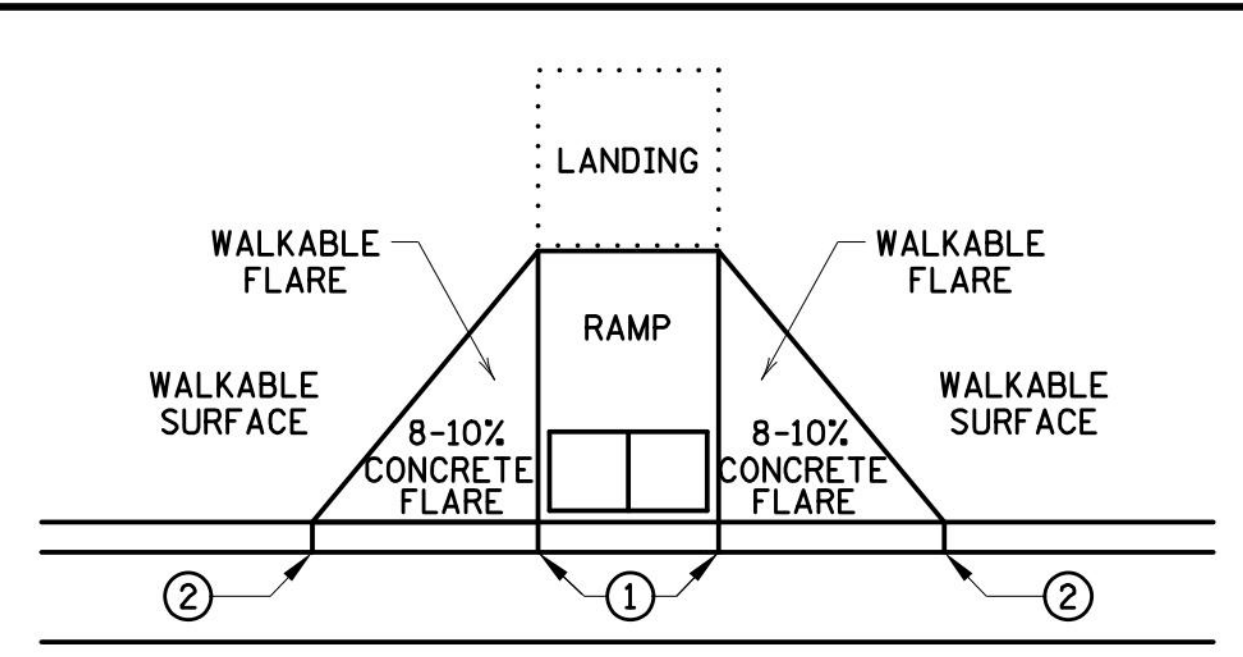
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DEPARTMENT
OF
TRANSPORTATION
STANDARD PLAN 5-297.250
3 OF 6
APPROVED: 11-04-2021
REVISED:
Tom Styrbicki
THOMAS STYRBICKI
STATE DESIGN ENGINEER
STATE PROJ. NO. (TH) SHEET NO. OF SHEETS

PEDESTRIAN CURB RAMP DETAILS

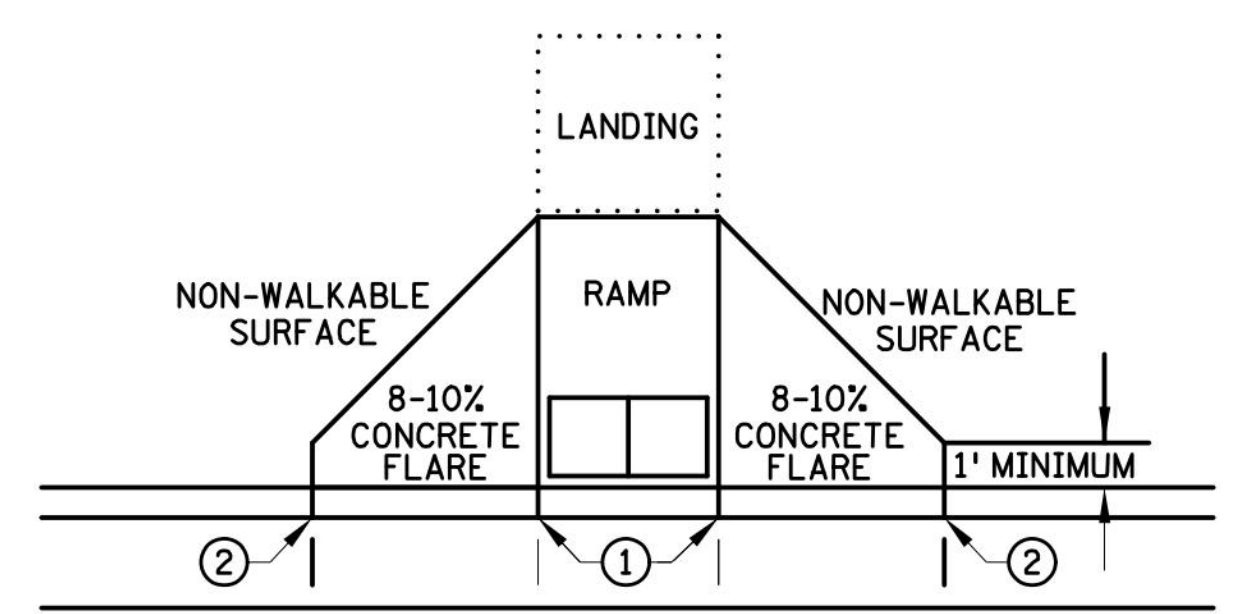
DATE	REVISION DESCRIPTION	BY

DATE: FEBRUARY 2023	SCALE: AS SHOWN
DRAWN BY: ASH	CHECKED BY: TMH
JOB NUMBER: 2022-11786	

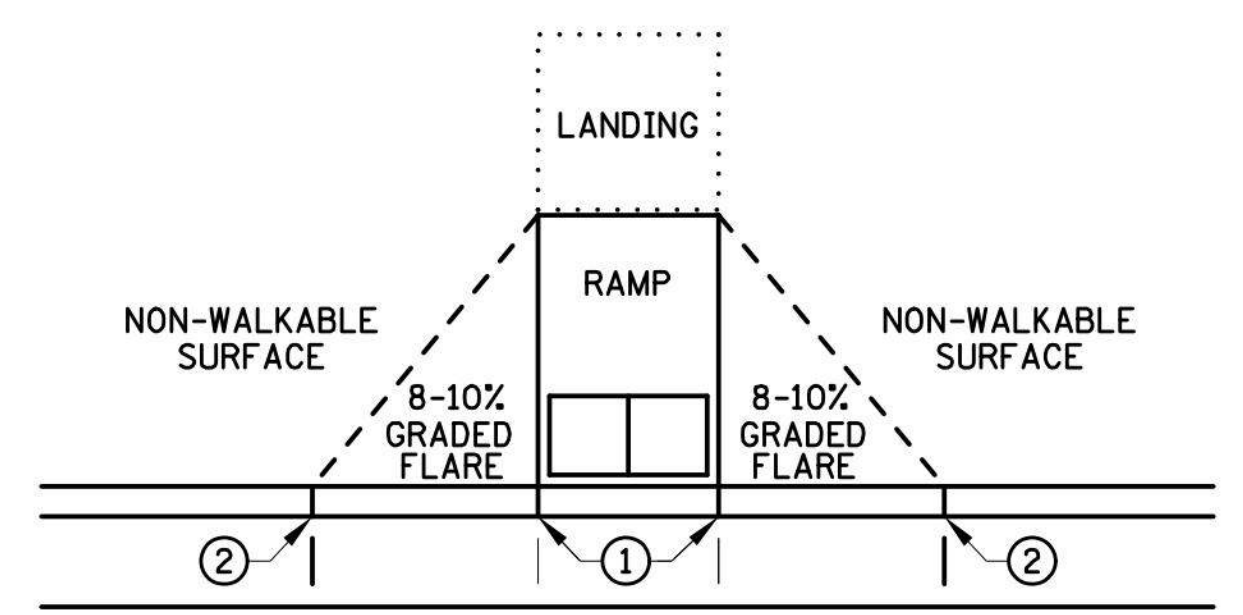
FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
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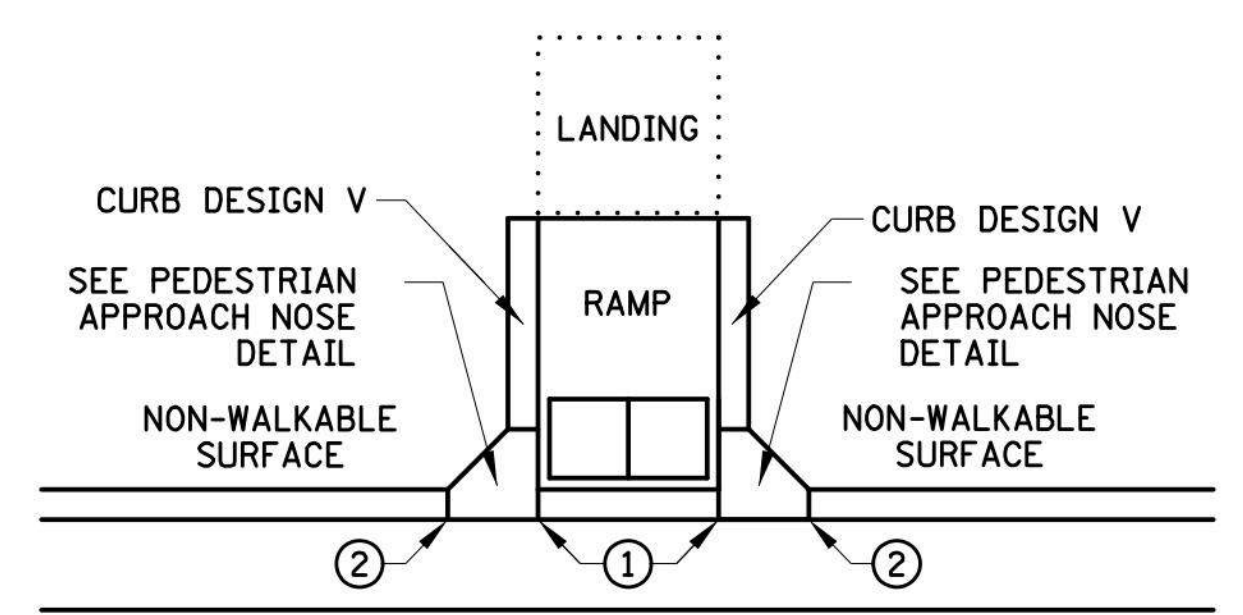
PAVED FLARES ADJACENT TO WALKABLE SURFACE



PAVED FLARES ADJACENT TO NON-WALKABLE SURFACE

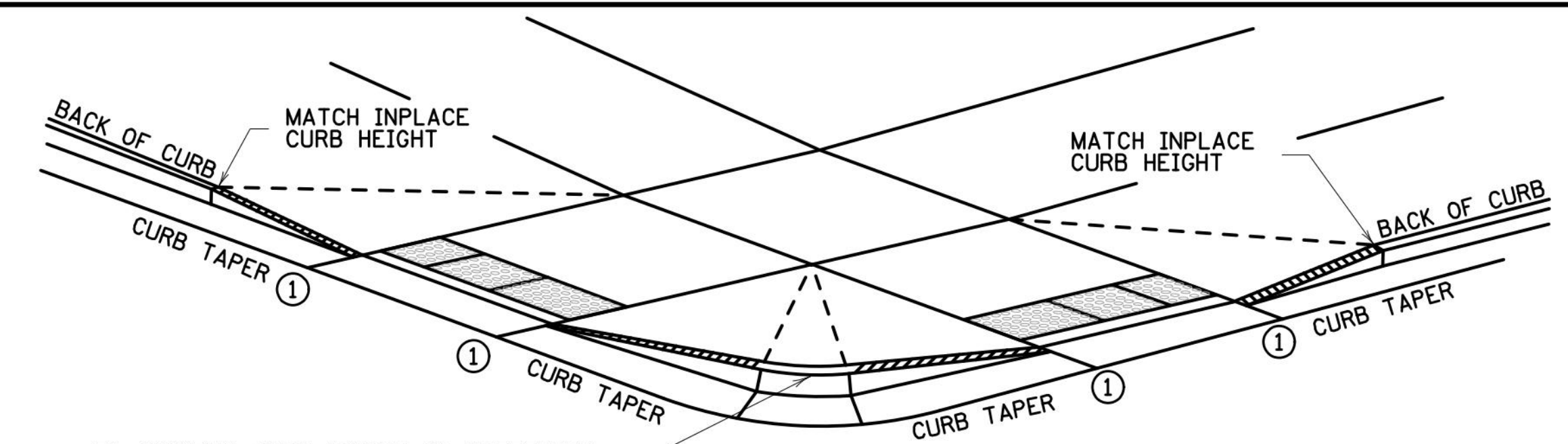


GRADED FLARES



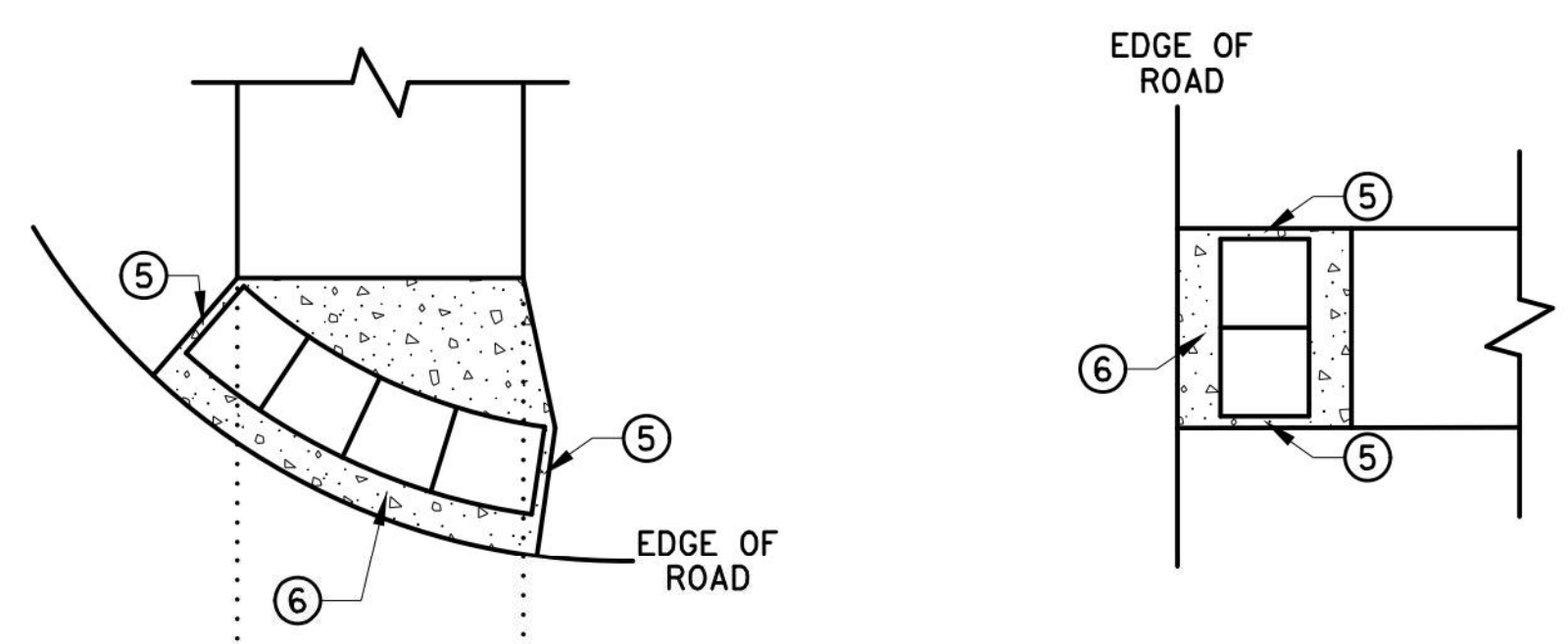
RETURNED CURB ④

TYPICAL SIDE TREATMENT OPTIONS ③ ⑩

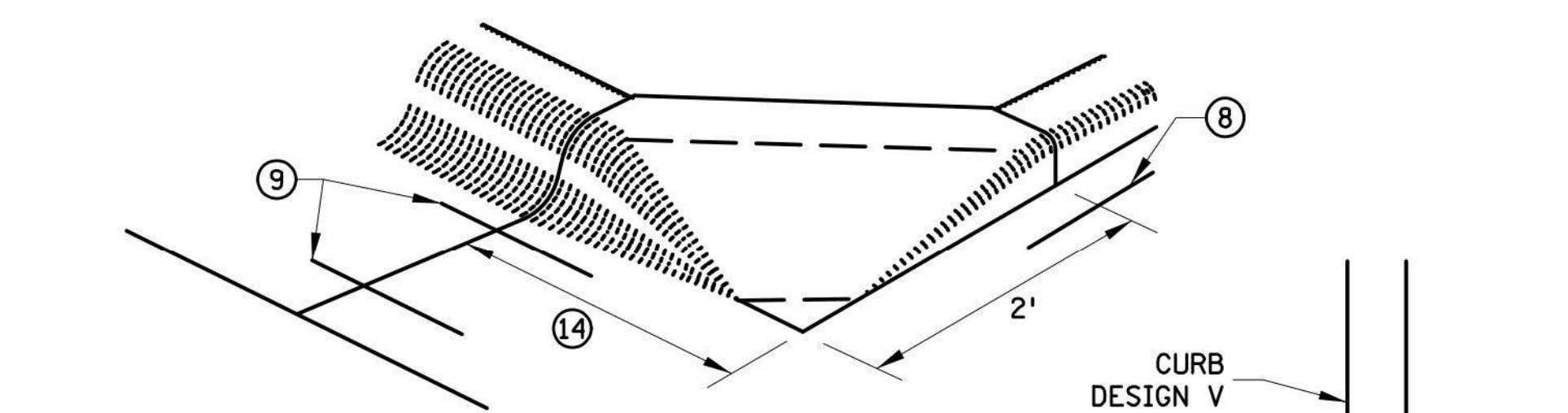


3" MINIMUM CURB HEIGHT, 4" PREFERRED (MEASURED AT FRONT FACE OF CURB)
FOR A MIN. 6" LENGTH (MEASURED ALONG FLOW LINE)

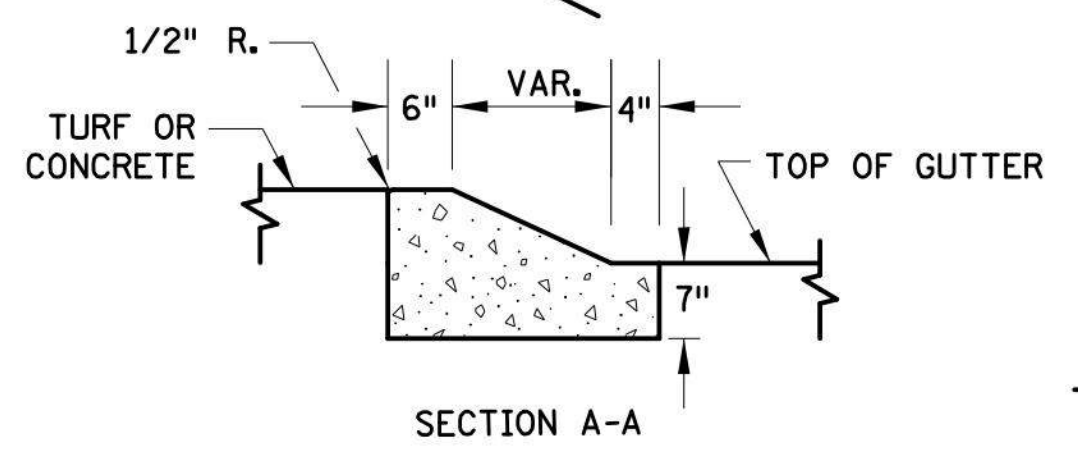
DETECTABLE EDGE WITH CURB AND GUTTER ⑦



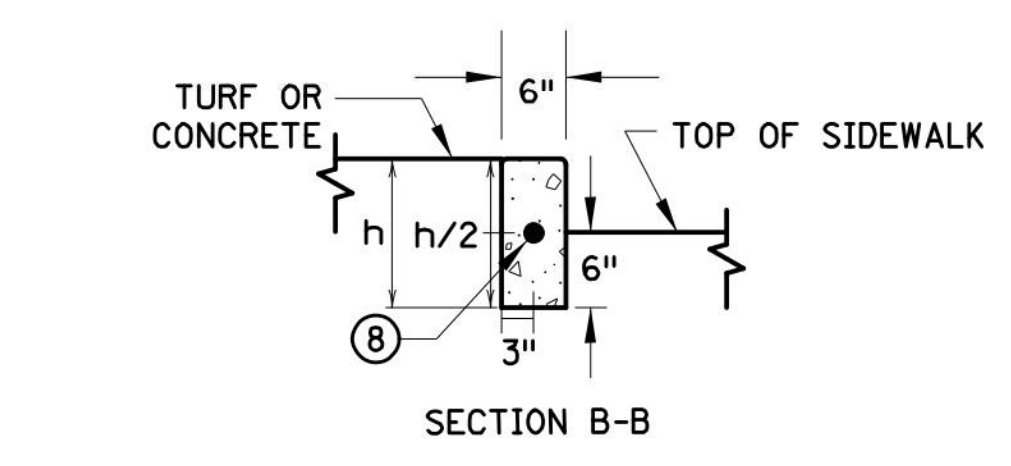
DETECTABLE EDGE WITHOUT CURB AND GUTTER



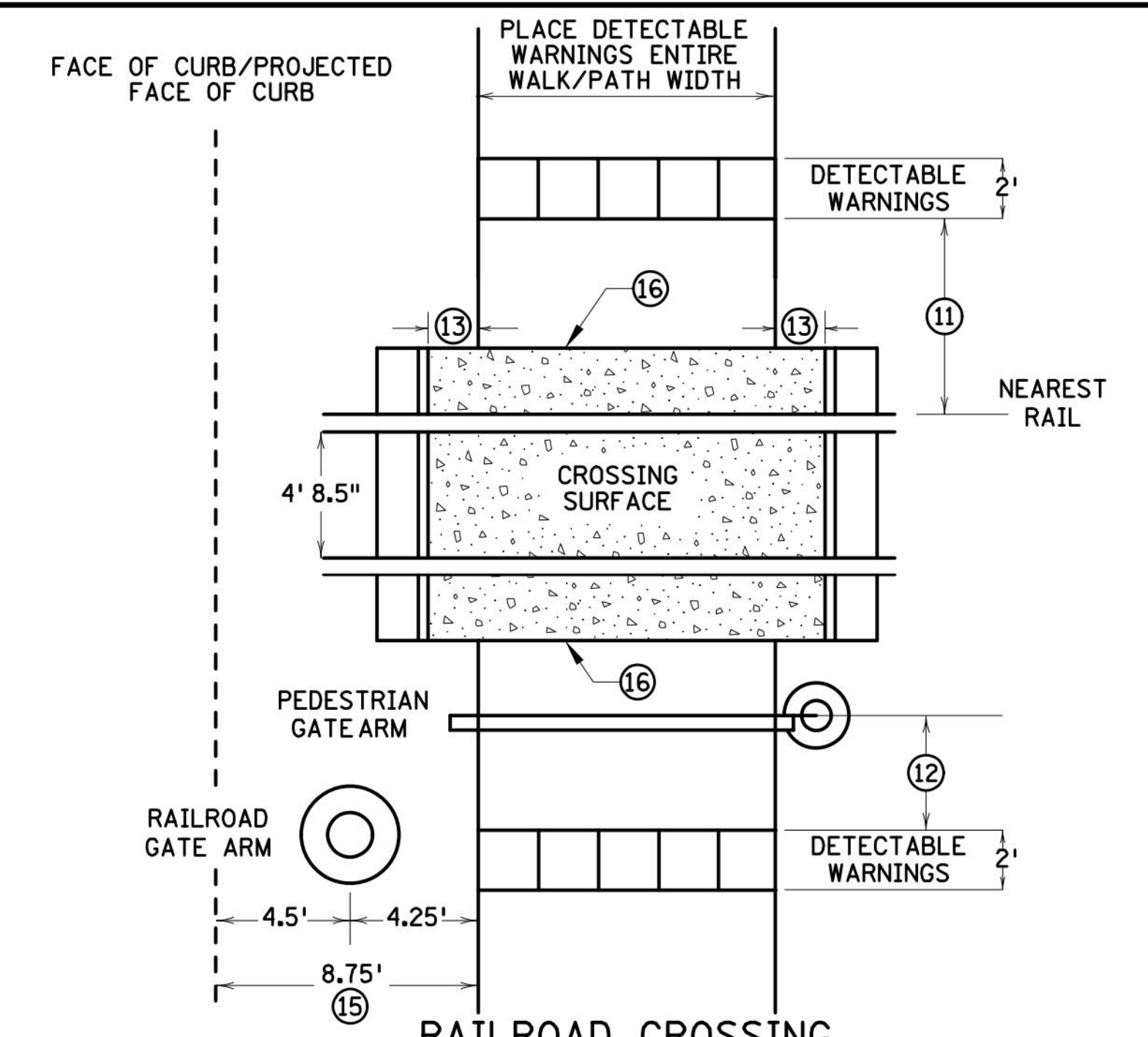
PEDESTRIAN APPROACH NOSE DETAIL (FOR RETURNED CURB SIDE TREATMENT)



SECTION A-A



SECTION B-B



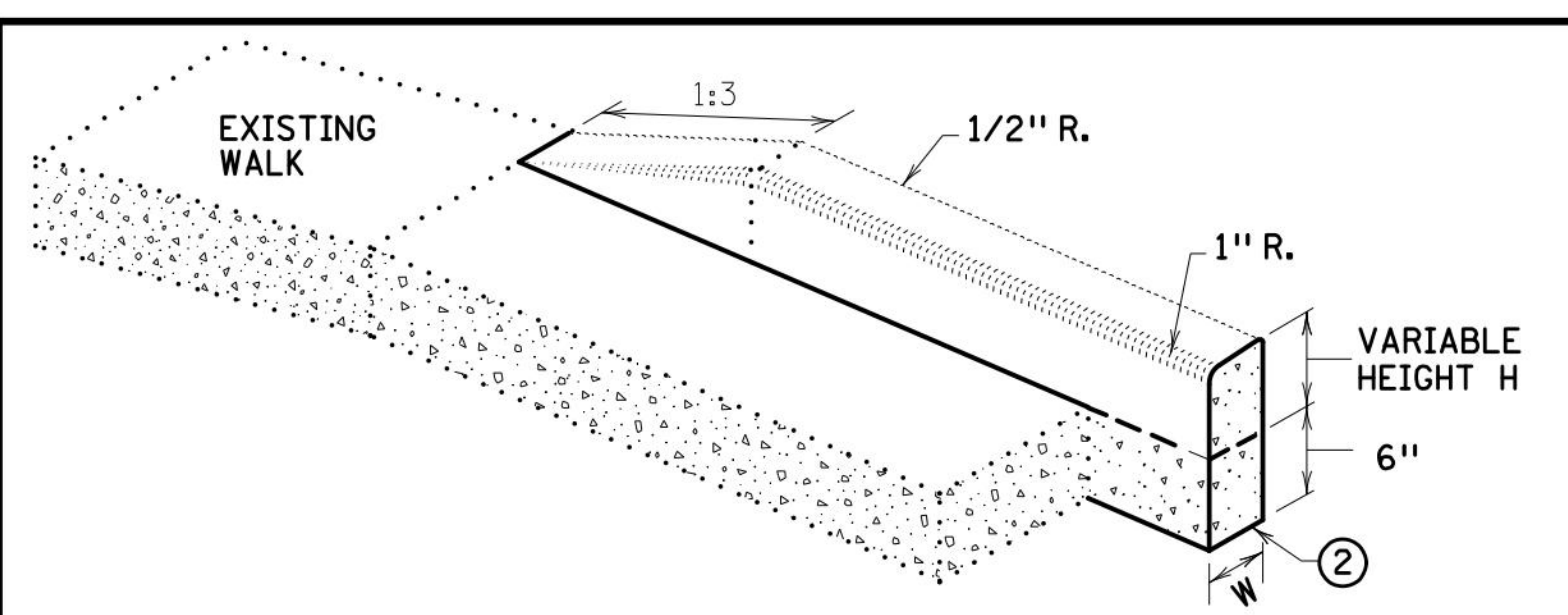
RAILROAD CROSSING PLAN VIEW

- NOTES:**
- INTERMEDIATE CURB HEIGHTS TAPER SHALL RISE AT 8-10% TO A MINIMUM 3 INCH CURB HEIGHT. INCREASE CURB TAPER LENGTH AT LESS THAN 8% OR REDUCE INTERMEDIATE CURB HEIGHT TO 2+ INCHES IF NECESSARY TO MATCH ADJACENT BOULEVARD OR SIDEWALK GRADES.
 - SEE STANDARD PLATE 7038 AND THIS SHEET FOR ADDITIONAL DETAILS ON DETECTABLE WARNING.
 - A WALKABLE SURFACE IS DEFINED AS A PAVED SURFACE ADJACENT TO A CURB RAMP WITHOUT RAISED OBSTACLES THAT COULD MISTAKENLY BE TRAVERSED BY A USER WHO IS VISUALLY IMPAIRED.
 - CONCRETE FLARE LENGTHS ADJACENT TO NON-WALKABLE SURFACES SHOULD BE LESS THAN 8' LONG MEASURED ALONG THE RAMPS FROM THE BACK OF CURB.
 - ① 0" CURB HEIGHT. SEE INSET A ON SHEET 3 OF 6.
 - ② FULL CURB HEIGHT.
 - ③ SIDE TREATMENTS ARE APPLICABLE TO ALL RAMP TYPES AND SHOULD BE IMPLEMENTED AS NEEDED AS FIELD CONDITIONS DICTATE. THE ENGINEER SHALL DETERMINE THE RAMP SIDE TREATMENTS BASED ON MAINTENANCE OF BOTH ROADWAY AND SIDEWALK, ADJACENT PROPERTY CONSIDERATIONS, AND MITIGATING CONSTRUCTION IMPACTS.
 - ④ TYPICALLY USED FOR MEDIANS AND ISLANDS.
 - ⑤ WHEN NO CONCRETE FLARES ARE PROPOSED, THE CONCRETE WALK SHALL BE FORMED AND CONSTRUCTED PERPENDICULAR TO THE EDGE OF ROADWAY. MAINTAIN 3" MAX. BETWEEN EDGE OF DOMES AND EDGE OF CONCRETE.
 - ⑥ IF NO CURB AND GUTTER IS PLACED IN RURAL SECTIONS, DETECTABLE WARNINGS SHALL BE PLACED 1' FROM THE EDGE OF BITUMINOUS ROADWAY AND/OR BITUMINOUS SHARED-USE PATH TO PROVIDE VISUAL CONTRAST.
 - ⑦ ALL CONSTRUCTED CURBS MUST HAVE A CONTINUOUS DETECTABLE EDGE FOR THE VISUALLY IMPAIRED. THIS DETECTABLE EDGE REQUIRES DETECTABLE WARNINGS WHEREVER THERE IS ZERO-INCH HIGH CURB. CURB TAPERS ARE CONSIDERED A DETECTABLE EDGE WHEN THE TAPER STARTS WITHIN 3" OF THE EDGE OF THE DETECTABLE WARNINGS, AND UNIFORMLY RISES TO A 3-INCH MINIMUM CURB HEIGHT. ANY CURB NOT PART OF A CURB TAPER AND LESS THAN 3 INCHES IN HEIGHT IS NOT CONSIDERED A DETECTABLE EDGE AND THEREFORE IS NOT COMPLIANT WITH ACCESSIBILITY STANDARDS.
 - ⑧ DRILL AND GROUT 1 - NO. 4 12" LONG REINFORCEMENT BAR (EPOXY COATED) WITH 3" MIN. COVER. REINFORCEMENT BARS ARE NOT NEEDED IF THE APPROACH NOSE IS POURED INTEGRAL WITH THE V CURB.
 - ⑨ DRILL AND GROUT 2 - NO. 4 12" LONG REINFORCEMENT BARS (EPOXY COATED) WITH 3" MIN. COVER. REINFORCEMENT BARS ARE NOT NEEDED IF THE APPROACH NOSE IS POURED INTEGRAL WITH THE CURB AND GUTTER.
 - ⑩ SIDE TREATMENT EXAMPLES SHOWN ARE WHEN THE INITIAL LANDING IS APPROXIMATELY LEVEL WITH THE FULL HEIGHT CURB (I.E. 6" LONG RAMP FOR 6" HIGH CURB). WHEN THE INITIAL LANDING IS MORE THAN 1" BELOW FULL HEIGHT CURB REFER TO SHEETS 1 & 2 TO MODIFY THE CURB HEIGHT TAPERS AND MAINTAIN POSITIVE BOULEVARD DRAINAGE. CONSTRUCT THESE TAPERS AT 0"-3" AT 8-10%, THEN LESS THAN 5% FROM 3" CURB TO FULL CURB HEIGHT.
 - ⑪ NEAREST EDGE OF DETECTABLE WARNING SURFACES SHALL BE PLACED 12' MINIMUM TO 15' MAXIMUM FROM THE NEAREST RAIL. FOR SKEWED RAILWAYS IN NO INSTANCE SHALL THE DETECTABLE WARNING BE CLOSER THAN 12' MEASURED PERPENDICULAR TO THE NEAREST RAIL.
 - ⑫ WHEN PEDESTRIAN GATES ARE PROVIDED, DETECTABLE WARNING SURFACES SHALL BE PLACED ON THE SIDE OF THE GATES OPPOSITE THE RAIL, 2' FROM THE APPROACHING SIDE OF THE GATE ARM. THIS CRITERIA GOVERNS OVER NOTE ⑪.
 - ⑬ CROSSING SURFACE SHALL EXTEND 2' MINIMUM PAST THE OUTSIDE EDGE OF WALK OR SHARED-USE PATH.
 - ⑭ 3' FOR MEDIANS AND SPLITTER ISLANDS. NOSE CAN BE REDUCED TO 2' ON FREE RIGHT ISLANDS.
 - ⑮ SIDEWALK TO BE PLACED 8.75' MIN. FROM THE FACE OF CURB/PROJECTED FACE OF CURB. THIS ENSURES MIN. CLEARANCE BETWEEN THE SIDEWALK AND GATE ARM COUNTERWEIGHT SUPPORTS.
 - ⑯ CONSTRUCT WITH EXPANSION MATERIAL PER MNDOT SPECIFICATION 3702 TYPES A-E. EXPANSION MATERIAL SHALL MATCH FULL HEIGHT OF ADJACENT CONCRETE.

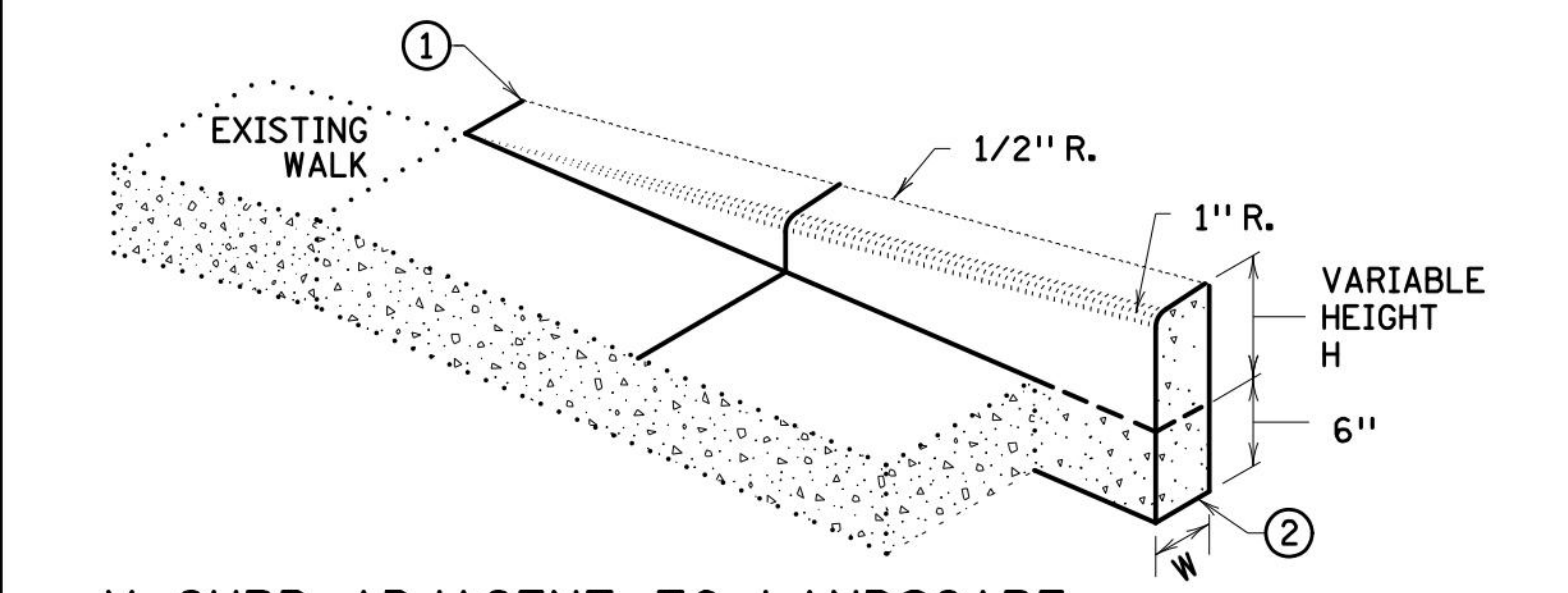
REVISION:
APPROVED: 11-04-2021
Jeffrey J. Perkins
JEFFREY PERKINS
OPERATIONS DIVISION

MINNESOTA
DEPARTMENT OF TRANSPORTATION
STANDARD PLAN 5-297.250 4 OF 6
Tom Styrubicki
THOMAS STYRUBICKI
STATE DESIGN ENGINEER
APPROVED: 11-04-2021
REVISED:
STATE PROJ. NO. (TH) SHEET NO. OF SHEETS

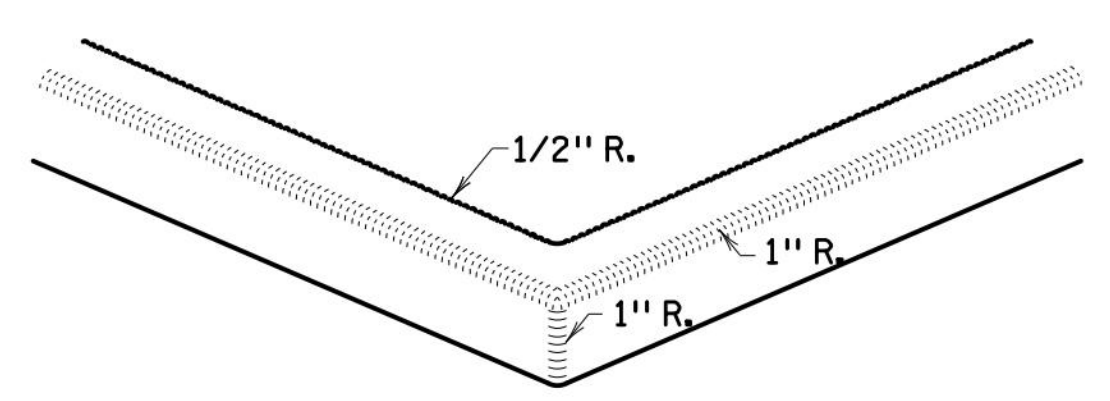
PEDESTRIAN CURB RAMP DETAILS



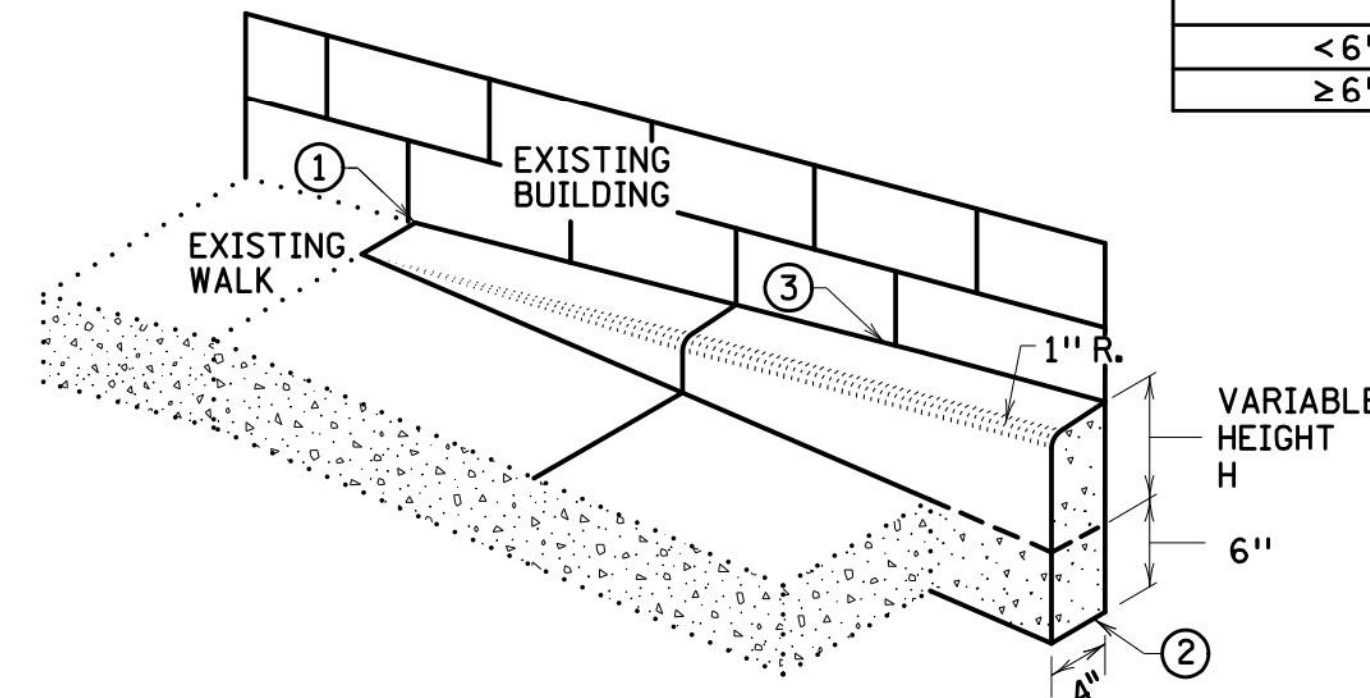
V CURB ADJACENT TO LANDSCAPE
CURB WITHIN SIDEWALK LIMITS



V CURB ADJACENT TO LANDSCAPE
CURB OUTSIDE SIDEWALK LIMITS

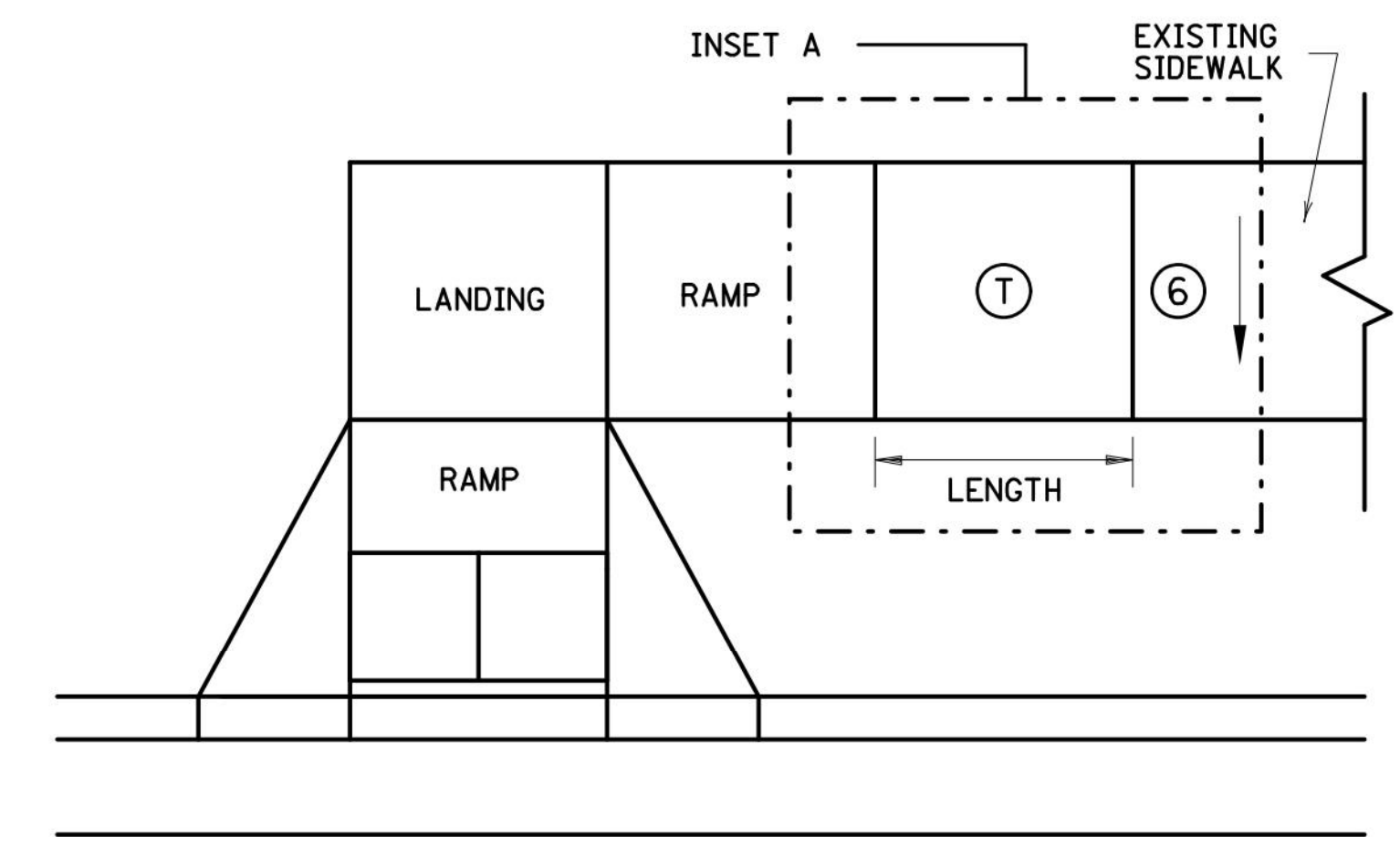


V CURB INTERSECTION

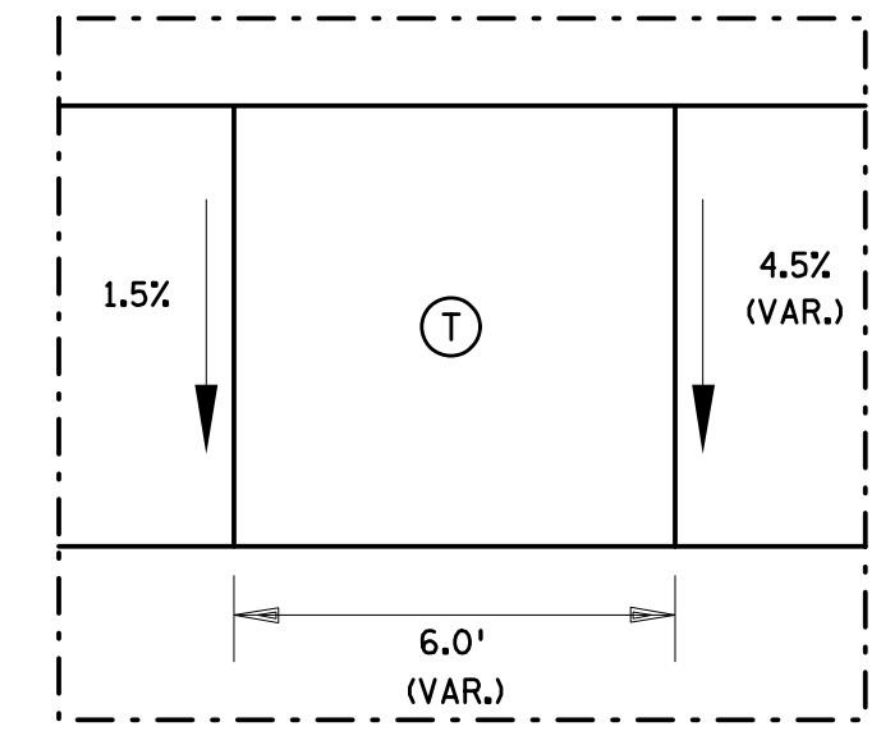


V CURB ADJACENT TO BUILDING OR BARRIER

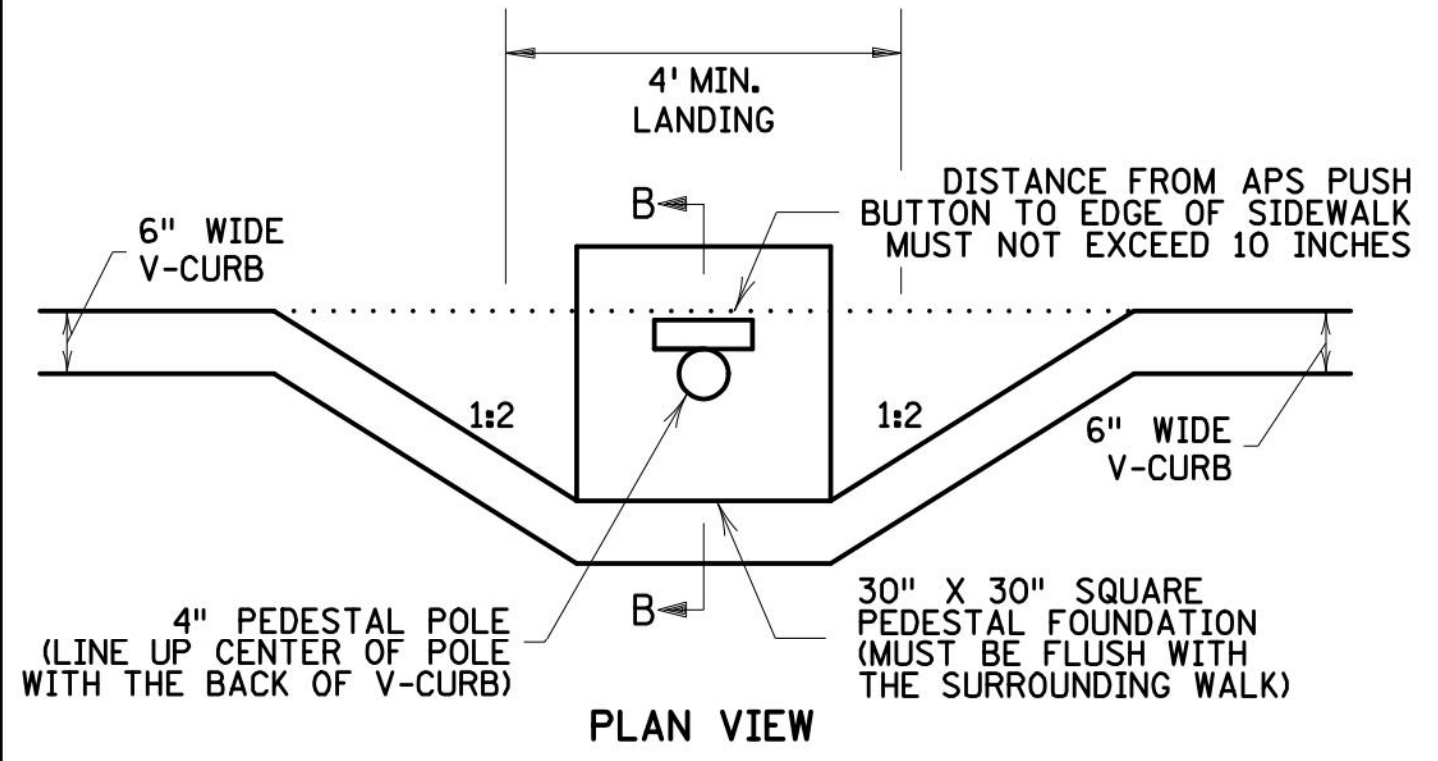
CONCRETE CURB DESIGN V	
CURB HEIGHT H	CURB WIDTH W
< 6"	4"
≥ 6"	6"



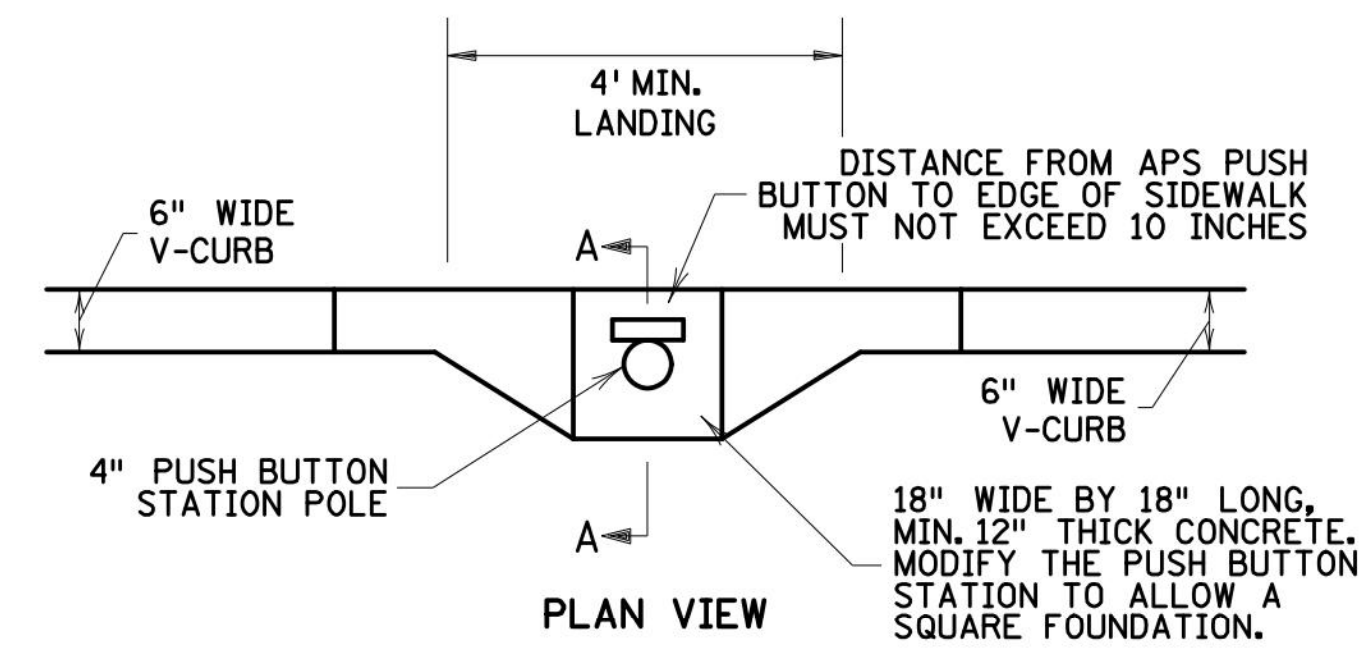
TRANSITION PANEL ④ ⑤



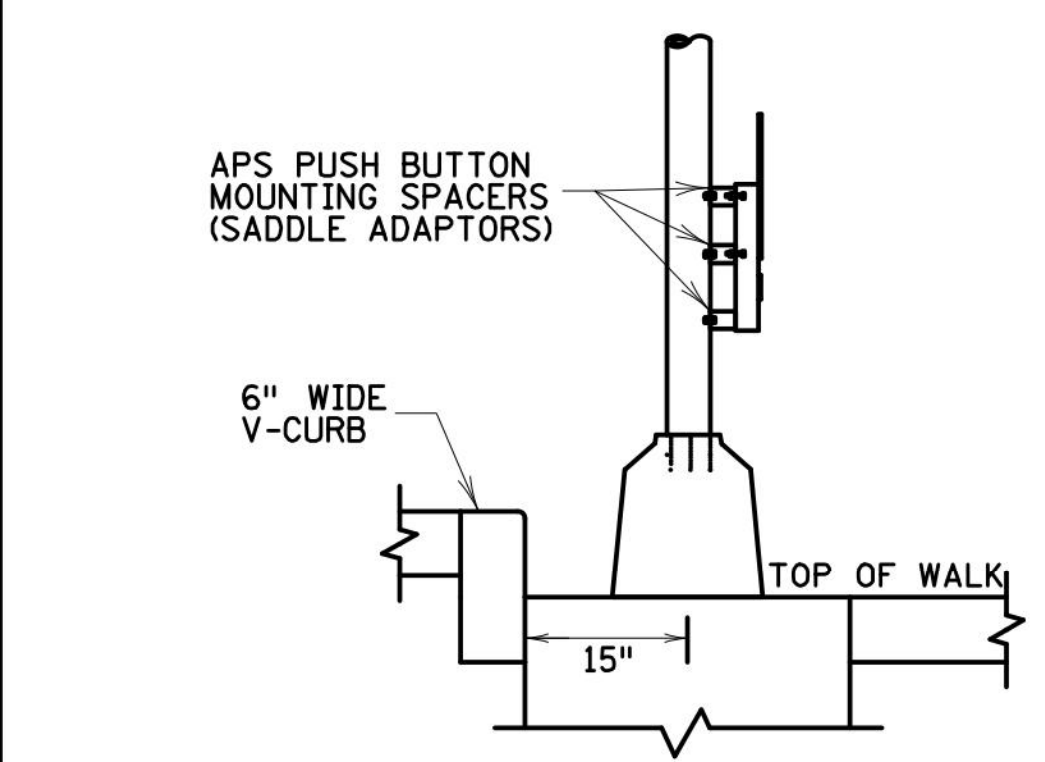
INSET A



PLAN VIEW

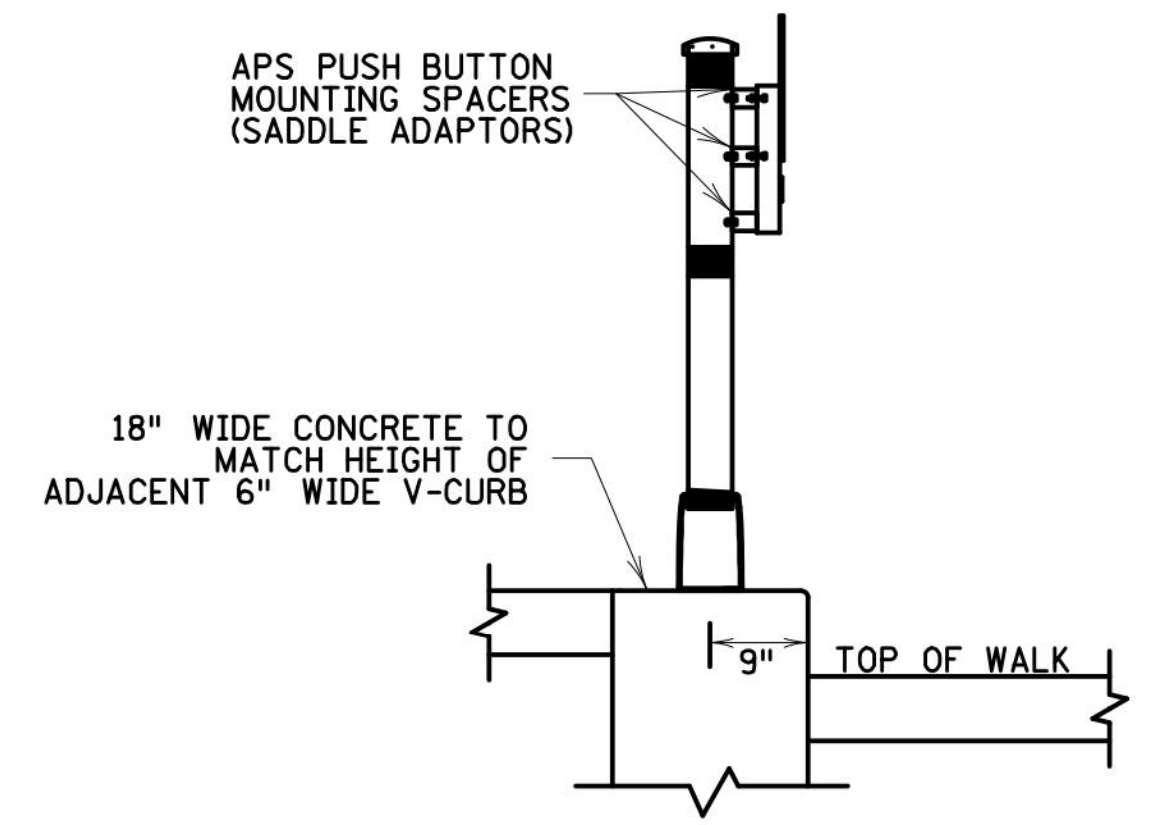


PLAN VIEW



SECTION B-B

SIGNAL PEDESTAL & PUSH BUTTON (V-CURB)



SECTION A-A

PUSH BUTTON STATION (V-CURB)

NOTES:

- A WALKABLE FLARE IS AN 8-10% CONCRETE FLARE THAT IS REQUIRED WHEN THE FLARE IS ADJACENT TO A WALKABLE SURFACE, OR WHEN THE PEDESTRIAN PATH OF TRAVEL OF A RAMP OR SLOPING ADJACENT PAVEMENT IS PREFERRED.
- ALL V CURB CONTRACTION JOINTS SHALL MATCH CONCRETE WALK JOINTS.
- WHERE RIGHT-OF-WAY ALLOWS, USE OF V CURB SHOULD BE MINIMIZED. GRADING ADJACENT TURF OR SLOPING ADJACENT PAVEMENT IS PREFERRED.
- V CURB SHALL BE PLACED OUTSIDE THE SIDEWALK LIMITS WHEN RIGHT OF WAY ALLOWS.
- V CURB NEXT TO BUILDING SHALL BE A 4" WIDTH AND SHALL MATCH PREVIOUS TOP OF SIDEWALK ELEVATIONS.
- ① END TAPERS AT TRANSITION SECTION SHALL MATCH INPLACE SIDEWALK GRADES.
- ② ALL V CURB SHALL MATCH BOTTOM OF ADJACENT WALK.
- ③ CONSTRUCT USING APPROVED EXPANSION MATERIAL PER MNDOT TYPE A-E EXPANSION. LEAVE A MINIMUM 1/2" TOP GAP AND SEAL WITH MNDOT APPROVED SILICONE PER MNDOT SPEC 3722.
- ④ THE MAX. RATE OF CROSS SLOPE TRANSITIONING IS 1' LINEAR FOOT OF SIDEWALK PER HALF PERCENT CROSS SLOPE. WHEN PAR WIDTH IS GREATER THAN 6' OR THE RUNNING SLOPE IS GREATER THAN 5%, DOUBLE THE CALCULATED TRANSITION LENGTH.
- ⑤ TRANSITION PANELS ARE TO ONLY BE USED AFTER THE RAMP, OR IF NEEDED, LANDING ARE AT THE FULL CURB HEIGHT (TYPICAL SECTION).
- ⑥ EXISTING CROSS SLOPE GREATER THAN 2.0%.

LEGEND

- THESE LONGITUDINAL SLOPE RANGES SHALL BE THE STARTING POINT. IF SITE CONDITIONS WARRANT, LONGITUDINAL SLOPES UP TO 8.3% OR FLATTER ARE ALLOWED.
- ⑤ INDICATES PEDESTRIAN RAMP - SLOPE SHALL BE BETWEEN 5.0% MINIMUM AND 8.3% MAXIMUM IN THE DIRECTION SHOWN AND THE CROSS SLOPE SHALL NOT EXCEED 2.0%.
- LANDING AREA - 4' X 4' MIN. (5' X 5' MIN. PREFERRED) DIMENSIONS AND MAX 2.0% SLOPE IN ALL DIRECTIONS. LANDING SHALL BE FULL WIDTH OF INCOMING PARS.
- ① TRANSITION PANEL(S) - TO BE USED FOR TRANSITIONING THE CROSS-SLOPE OF A RAMP TO THE EXISTING WALK CROSS-SLOPE. RATE OF TRANSITION SHOULD BE 0.5% PER 1 LINEAR FOOT OF WALK. SEE THIS SHEET FOR ADDITIONAL INFORMATION.

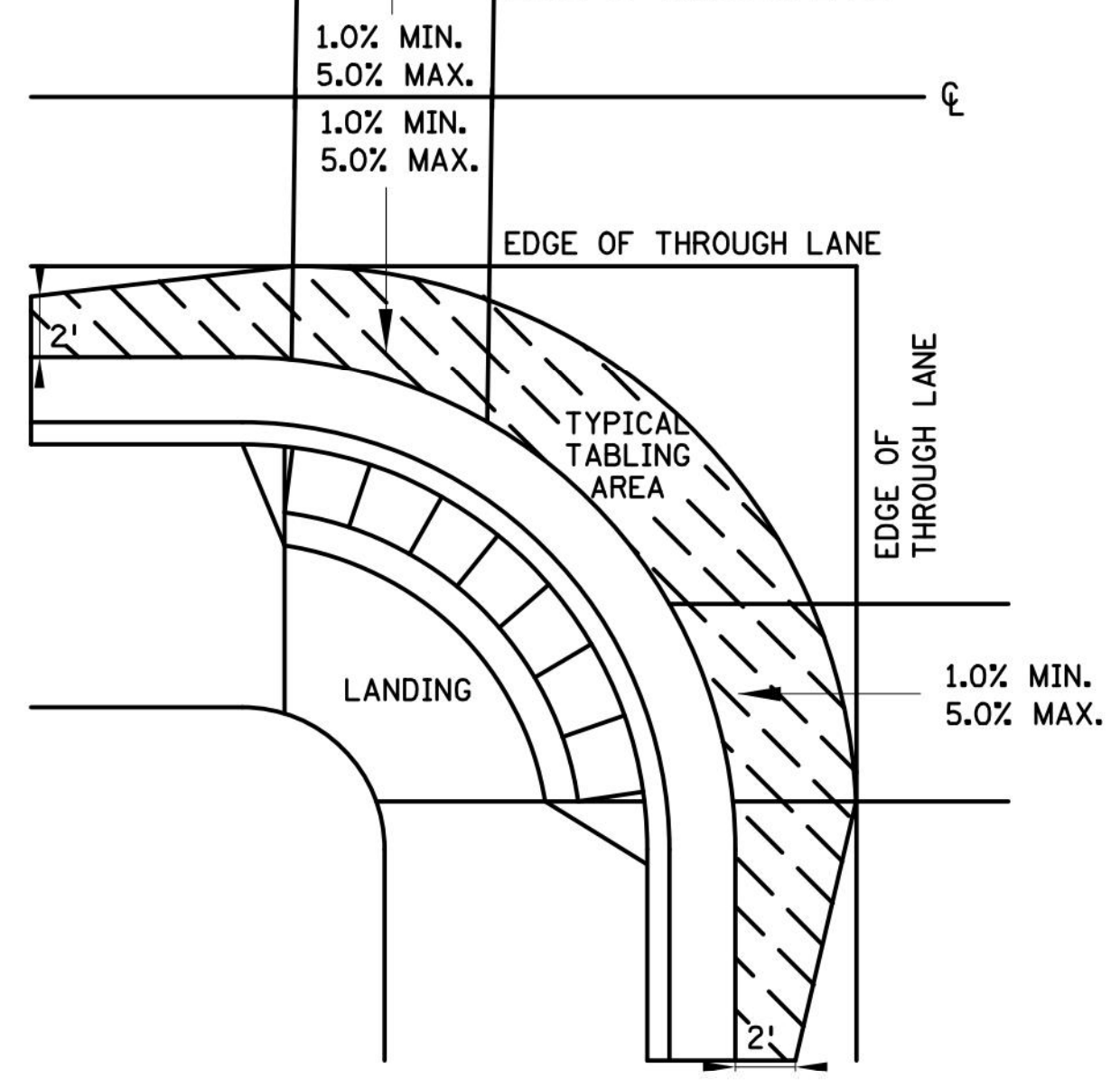
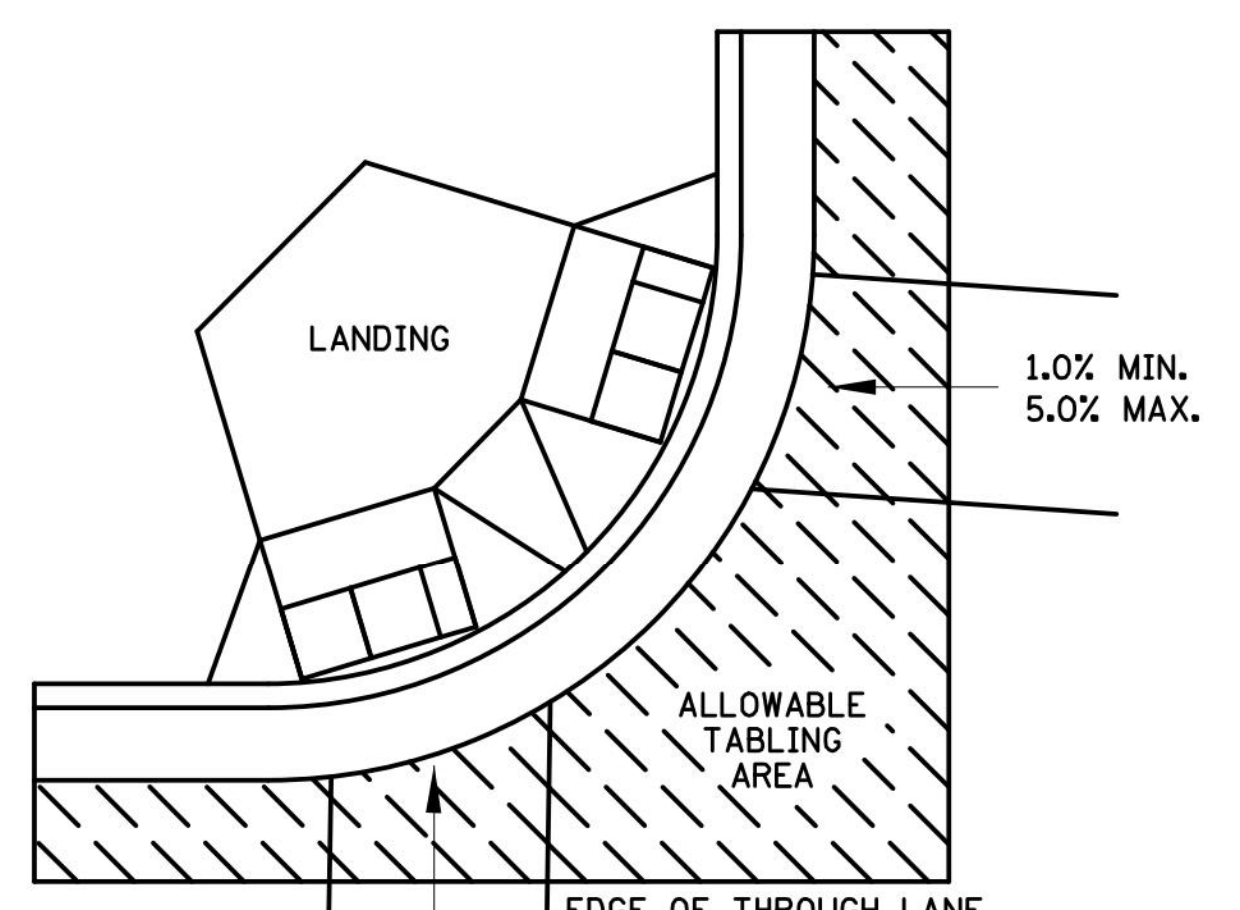
REVISION:
APPROVED: 11-04-2021
Jeff J. Perkins
JEFFREY PERKINS
OPERATIONS DIVISION

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MINNESOTA
DEPARTMENT OF TRANSPORTATION

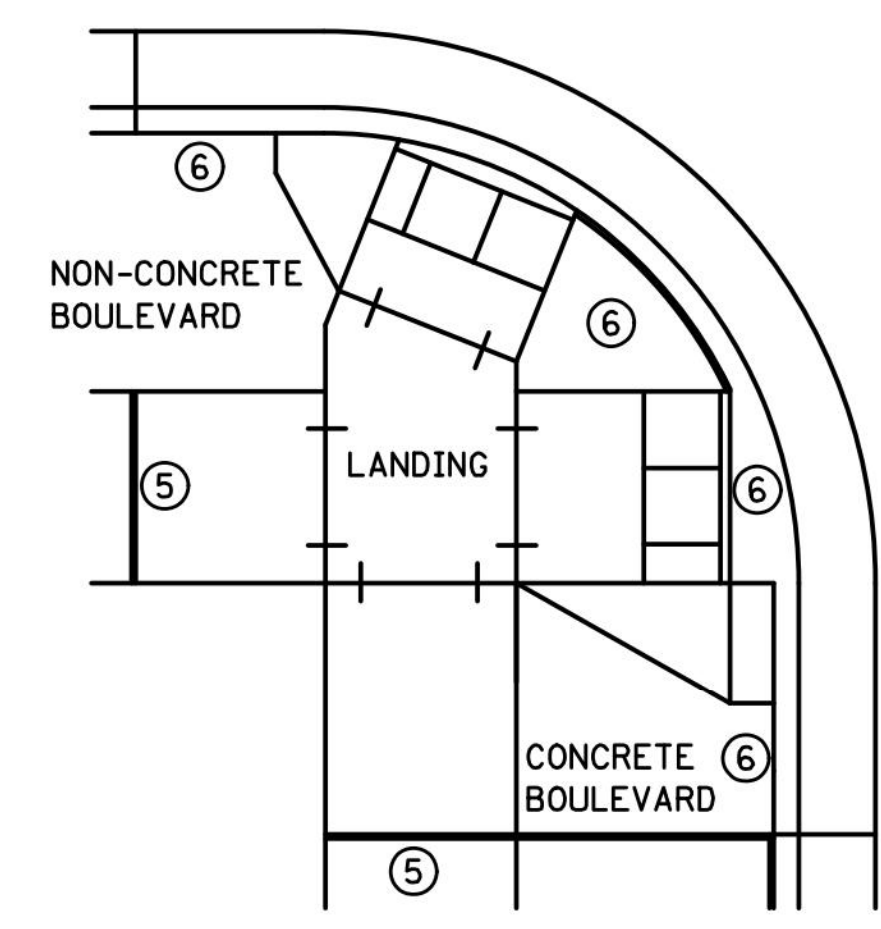
STANDARD PLAN 5-297.250 5 OF 6
APPROVED: 11-04-2021
REVISOR:
THOMAS STYRBICKI
STATE DESIGN ENGINEER

PEDESTRIAN CURB RAMP DETAILS

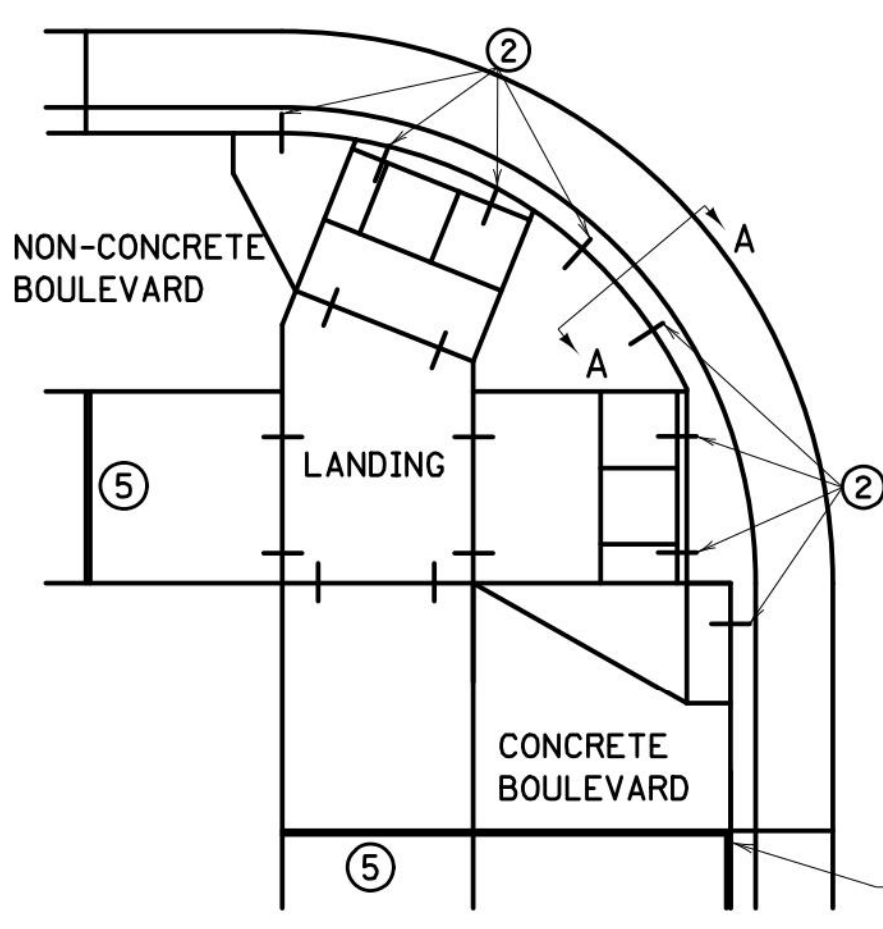
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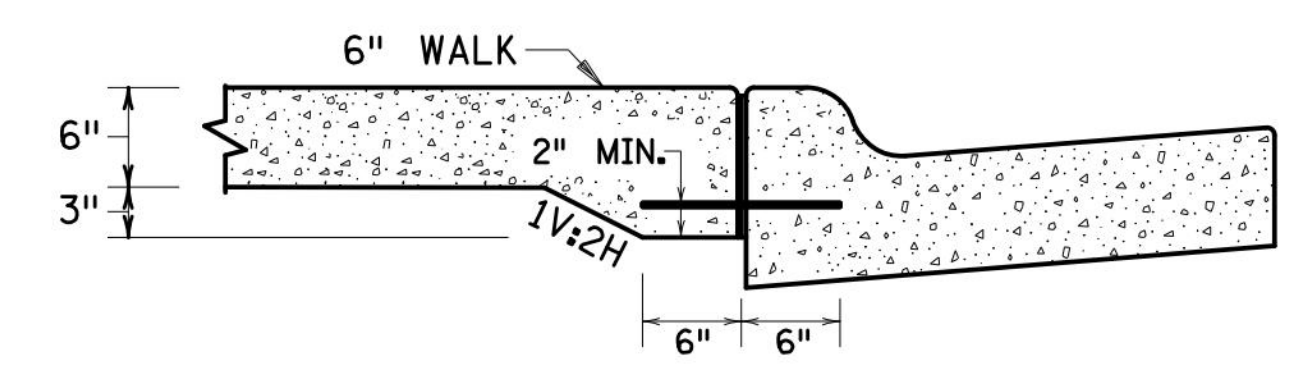
CURB LINE AND ROAD CROSSING ADJUSTMENTS



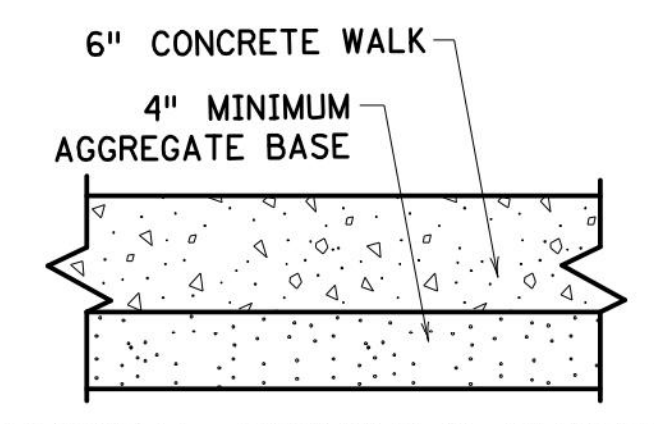
EXPANSION MATERIAL PLACEMENT FOR CONCRETE ROADWAYS



CURB LINE REINFORCEMENT PLACEMENT ON BITUMINOUS ROADWAYS

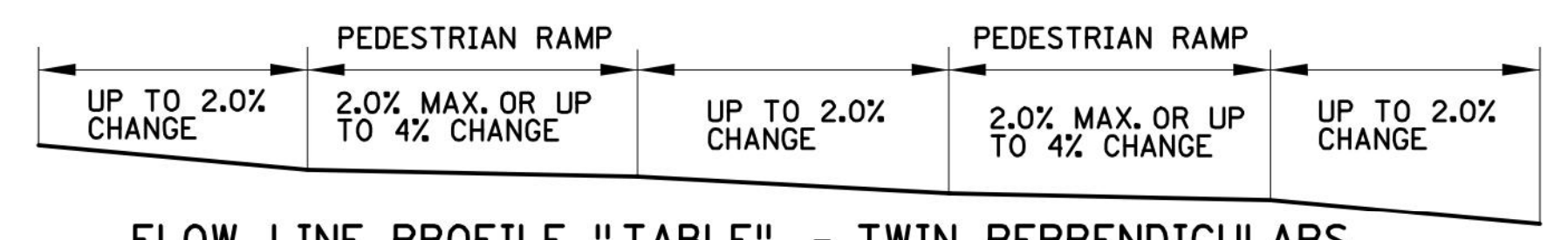


SECTION VIEW A-A THICKENED SECTION THROUGH CURB RAMP FLARES

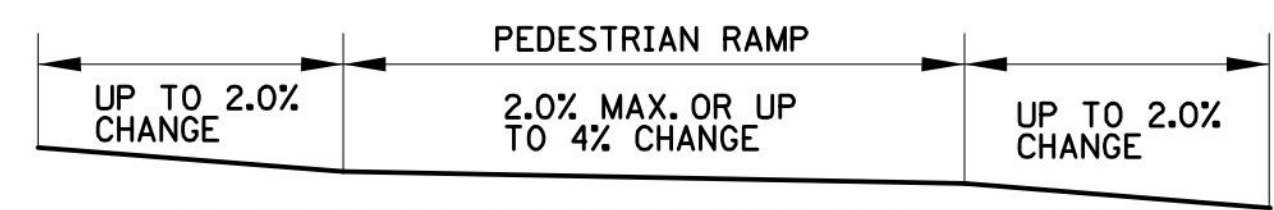


TYPICAL SIDEWALK SECTION WITHIN INTERSECTION CORNER

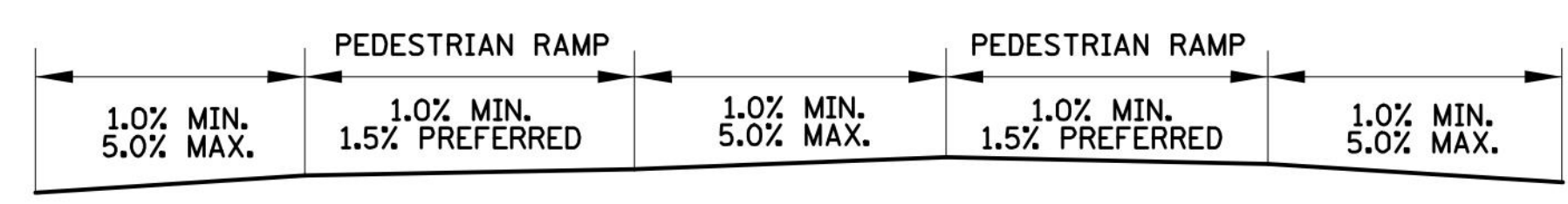
END SILL CURB AT TOP OF CURB RAMP AND DRIVEWAY FLARES.



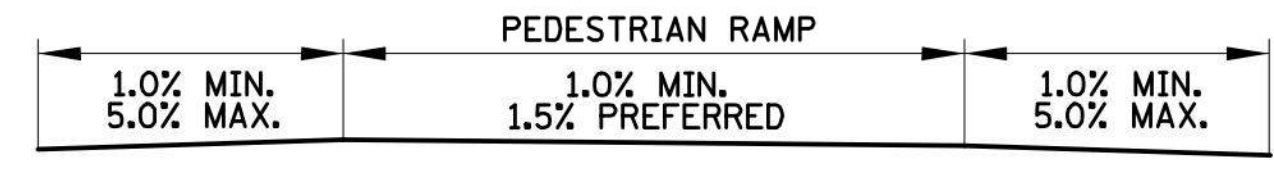
FLOW LINE PROFILE "TABLE" - TWIN PERPENDICULARS



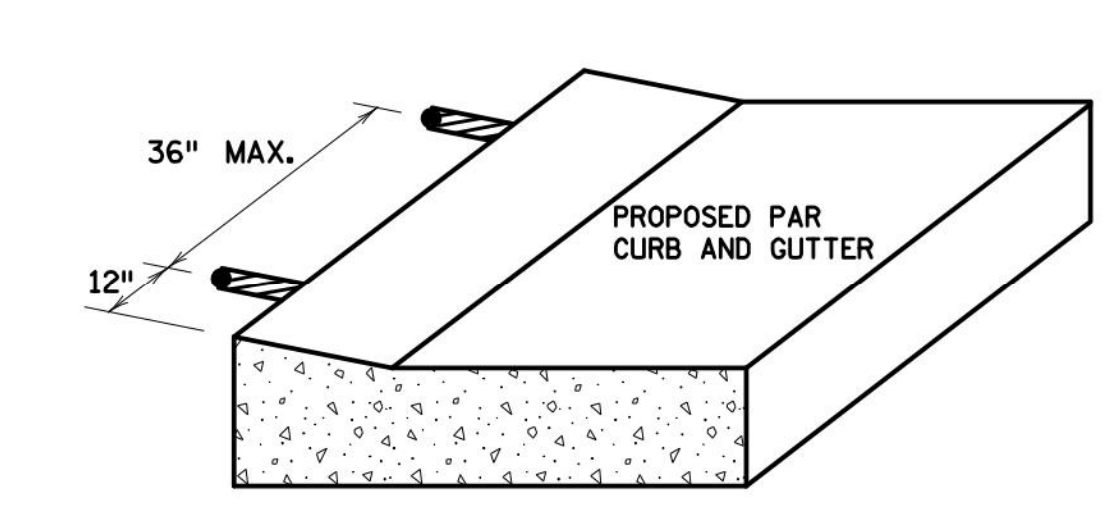
FLOW LINE PROFILE "TABLE" - FAN



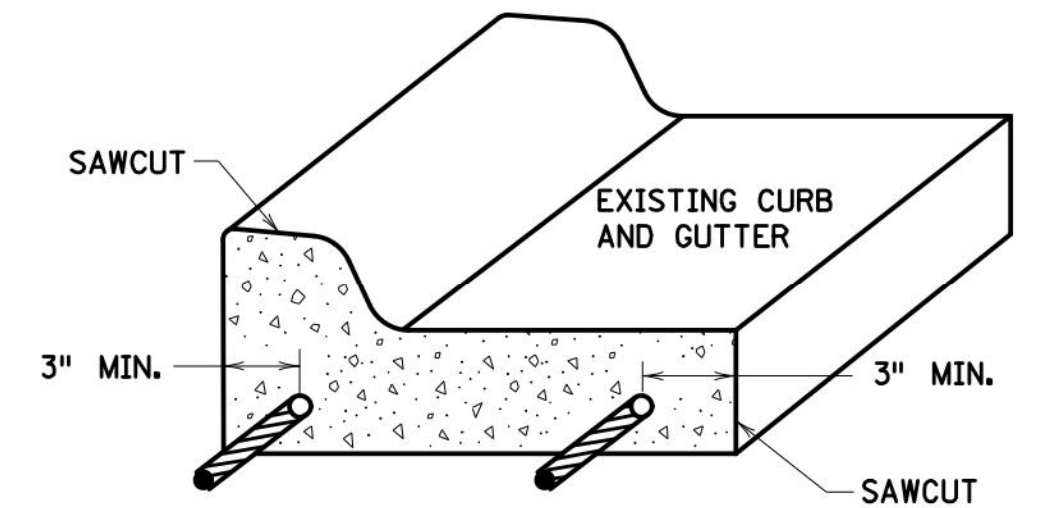
FLOW LINE PROFILE RAISE - TWIN PERPENDICULARS



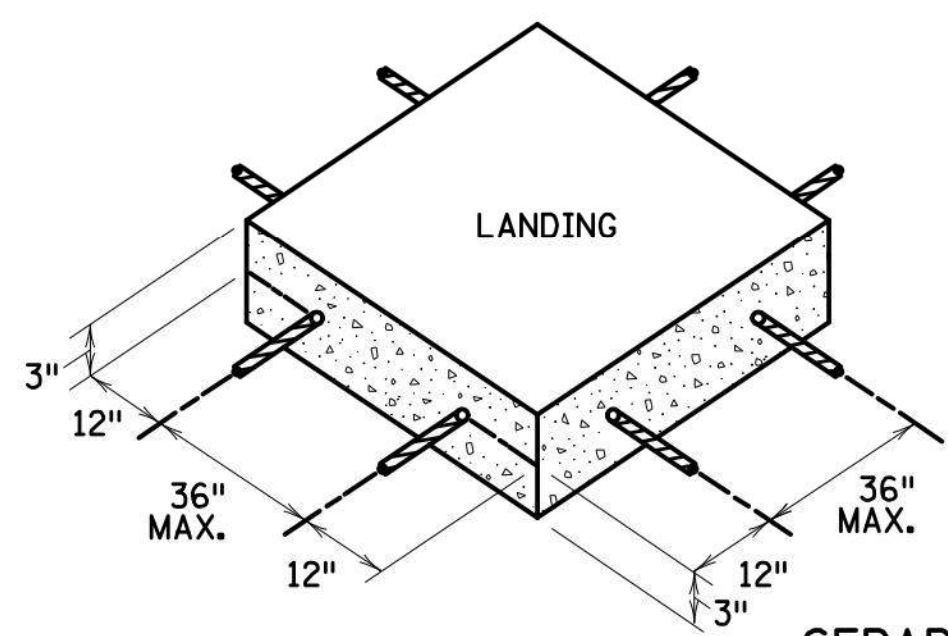
FLOW LINE PROFILE RAISE - FAN



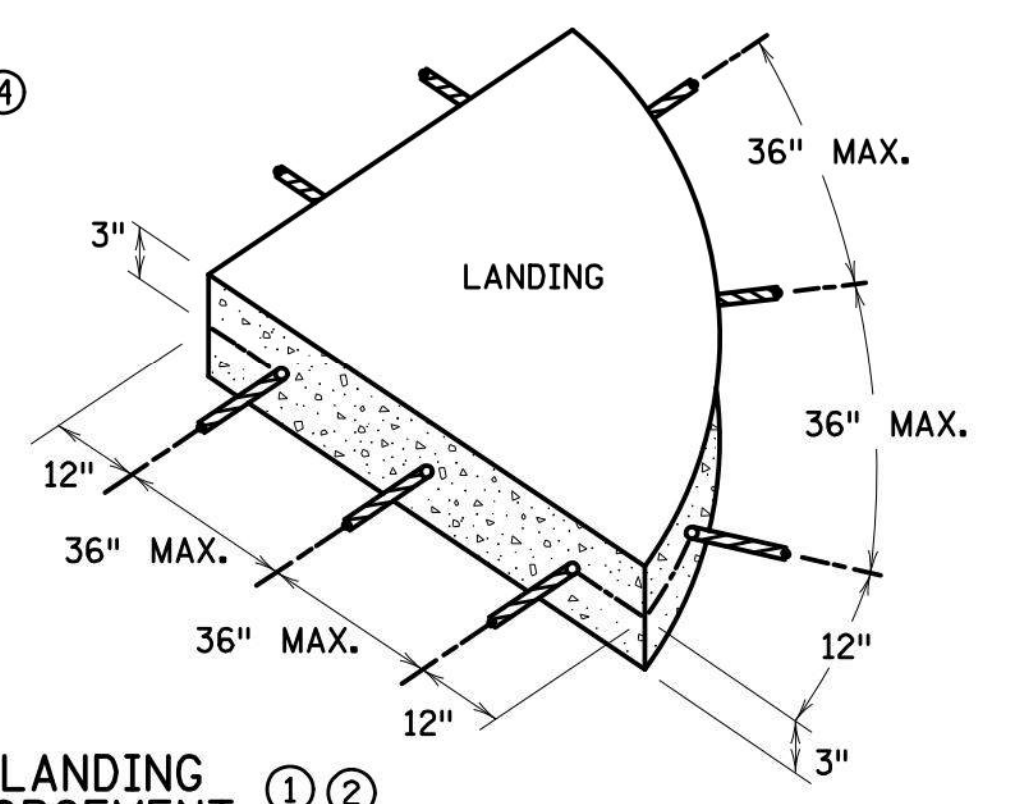
CURB RAMP REINFORCEMENT DETAILS



CURB AND GUTTER REINFORCEMENT



SEPARATE LANDING POUR REINFORCEMENT



GENERAL NOTES:

"TABLING" OF CROSSWALKS MEANS MAINTAINING LESS THAN 2% CROSS SLOPE WITHIN A CROSSWALK, IS REQUIRED WHEN A ROADWAY IS IN A STOP OR YIELD CONDITION AND THE PROJECT SCOPE ALLOWS.

RECONSTRUCTION PROJECTS: ON FULL PAVEMENT REPLACEMENT PROJECTS "TABLING" OF ENTIRE CROSSWALK SHALL OCCUR WHEN FEASIBLE.

MILL & OVERLAY PROJECTS: "TABLING" OF FLOW LINES, IN FRONT OF THE PEDESTRIAN RAMP, IS REQUIRED WHEN THE EXISTING FLOW LINE IS GREATER THAN 2%. WARPING OF THE BITUMINOUS PAVEMENT CAN NOT EXTEND INTO THE THROUGH LANE. TABLE THE FLOW LINE TO 2% OR AS MUCH AS POSSIBLE WHILE ADHERING TO THE FOLLOWING CRITERIA:

- 1) 1.0% MIN. CROSS-SLOPE OF THE ROAD
- 2) 5.0% MAX. CROSS-SLOPE OF THE ROAD
- 3) "TABLE" FLOW LINE UP TO 4% CHANGE FROM EXISTING SLOPE IN FRONT OF PEDESTRIAN RAMP
- 4) UP TO 2% CHANGE IN FLOW LINE FROM EXISTING SLOPE BEYOND THE PEDESTRIAN CURB RAMP

STAND-ALONE ADA RETROFITS: FOLLOW MILL & OVERLAY CRITERIA ABOVE HOWEVER ALL PAVEMENT WARPING IS DONE WITH BITUMINOUS PATCHING ON BITUMINOUS ROADWAYS AND FULL-DEPTH APRON REPLACEMENT ON CONCRETE ROADWAYS.

RAISING OF CURB LINES SHOULD OCCUR IN VERTICALLY CONSTRAINED AREAS. RAISE THE CURB LINES ENOUGH TO ALLOW COMPLIANT RAMPS OR AS MUCH AS POSSIBLE WHILE ADHERING TO THE FOLLOWING CRITERIA:

- 1) 1.0% MIN. AND 5.0% MAXIMUM CROSS-SLOPE OF THE ROAD
- 2) 1.0% MIN. FLOW LINE (ON EITHER SIDE OF PEDESTRIAN RAMP) TO MAINTAIN POSITIVE DRAINAGE
- 3) 5.0% RECOMMENDED MAX. FLOW LINE
- 4) LONGITUDINAL THROUGH LANE ROADWAY TAPERS SHOULD BE 1" VERTICAL PER 15' HORIZONTAL

NOTES:

- 1) TO ENSURE RAMPS AND LANDINGS ARE PROPERLY CONSTRUCTED, ALL INITIAL LANDINGS AT A TOP OF A RAMPED SURFACE (RUNNING SLOPE GREATER THAN 2%) SHALL BE FORMED AND PLACED SEPARATELY IN AN INDEPENDENT CONCRETE POUR. FOLLOW SIDEWALK REINFORCEMENT DETAILS ON THIS SHEET FOR ALL SEPARATELY POURED INITIAL LANDINGS.
- 2) DRILL AND GROUT NO. 4 12" LONG REINFORCEMENT BARS (EPOXY COATED) AT 36" MAXIMUM CENTER TO CENTER MINIMUM 12" SPACING FROM CONSTRUCTION JOINTS. BARS TO BE ADJUSTED TO MATCH RAMP GRADE. BARS TO BE PAID BY EACH.
- 3) DRILL AND GROUT 2 - NO. 4 X 12" LONG (6" EMBEDDED) REINFORCEMENT BARS (EPOXY COATED). REINFORCEMENT REQUIRED FOR ALL CONSTRUCTION JOINTS. BARS TO BE PAID BY EACH.
- 4) THIS CURB LINE REINFORCEMENT DETAIL SHALL BE USED ON BITUMINOUS ROADWAYS. FOR CONCRETE ROADWAYS, SEE NOTE 6.
- 5) CONSTRUCT WITH EXPANSION MATERIAL PER MNDOT SPECIFICATION 3702 TYPES A-E. EXPANSION MATERIAL SHALL MATCH FULL HEIGHT OF ADJACENT CONCRETE.
- 6) USE AN APPROVED TYPE F (1/4 INCH THICK) SEPARATION MATERIAL. SEPARATION MATERIAL SHALL MATCH FULL HEIGHT DIMENSION OF ADJACENT CONCRETE.

REVISION:
APPROVED: 11-04-2021
Jeffrey J. Perkins
JEFFREY PERKINS
OPERATIONS DIVISION

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MINNESOTA
DEPARTMENT
OF
TRANSPORTATION

STANDARD PLAN 5-297.250 6 OF 6
Tom Stibicki
THOMAS STIBICKI
STATE DESIGN ENGINEER
APPROVED: 11-04-2021
REVISED:

PEDESTRIAN CURB RAMP DETAILS

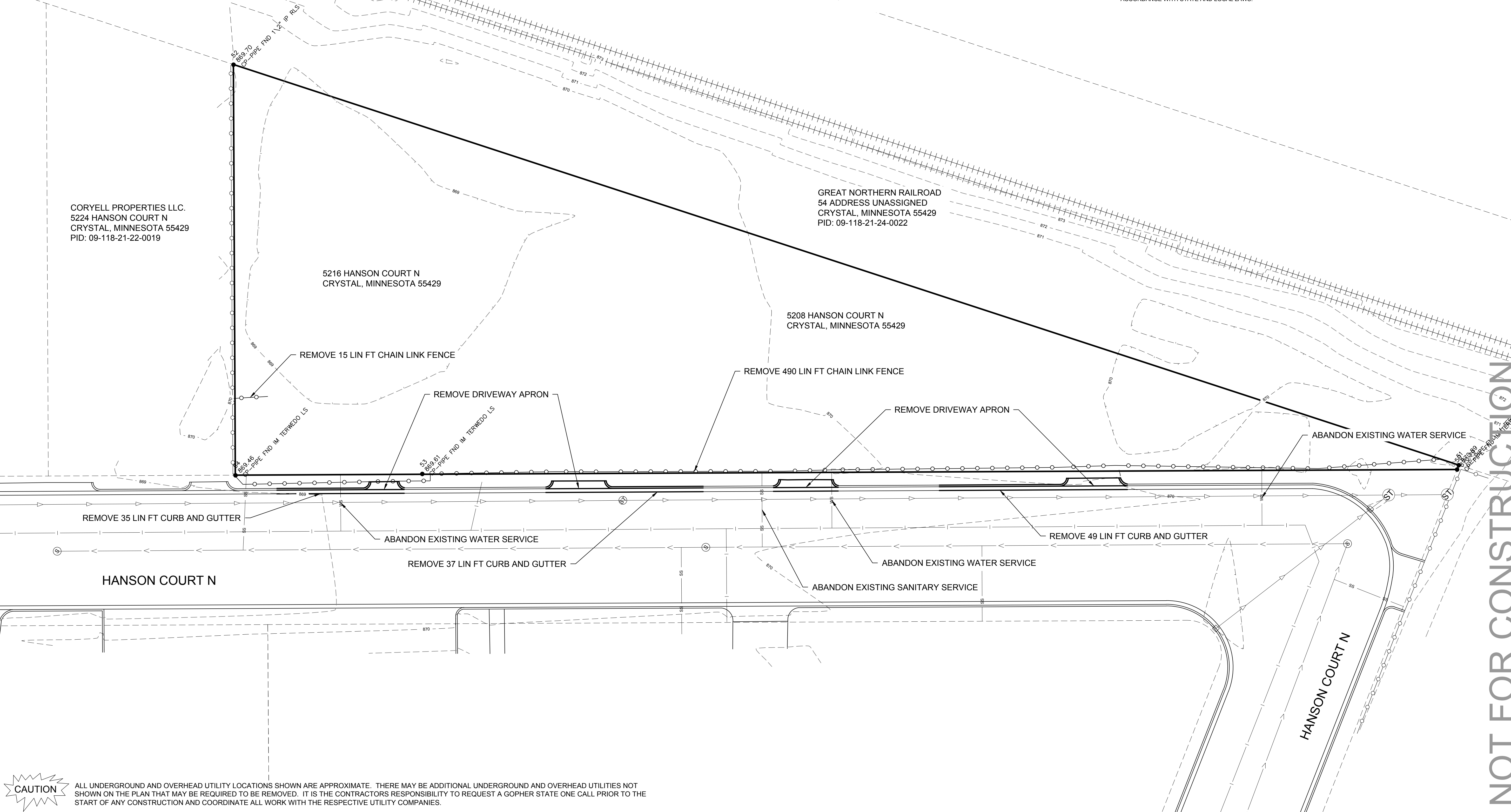
STATE PROJ. NO. (TH) SHEET NO. OF SHEETS

SITE: PARID: 0911821220020 & 091182122021
 5208 HANSON COURT
 CRYSTAL, MINNESOTA 55429
 ZONE: INDUSTRIAL

OWNER: JDQ, LLC
 18015 17TH AVE N
 PLYMOUTH, MN 55447
 CONTACT: JEFF QUINN
 EMAIL: JEFF@FARR.PLUMBING
 PH: (763) 432-9009

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
 5368 266TH ST
 WYOMING, MN 55092
 CONTACT: FRANK BRODEEN, PE
 EMAIL: FRANK.BRODEEN@WIDSETH.COM
 PH: (651)-358-2345

CORYELL PROPERTIES LLC.
 5224 HANSON COURT N
 CRYSTAL, MINNESOTA 55429
 PID: 09-118-21-22-0019



CAUTION ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.

GENERAL CONSTRUCTION NOTES:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.

UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTING SHALL CONFORM TO THE 2020 EDITION OF THE "STANDARD SPECIFICATIONS FOR TRENCH EXCAVATION AND BACKFILL/SURFACE RESTORATION, WATERMAIN AND SERVICE LINE INSTALLATION AND SANITARY SEWER AND STORM SEWER INSTALLATION" AS PUBLISHED BY THE CITY ENGINEERS ASSOCIATION OF MINNESOTA AND THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION, 2020 EDITION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.

THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LIMITS.

THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

SITE REMOVAL NOTES:

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CIASCE 38-02, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

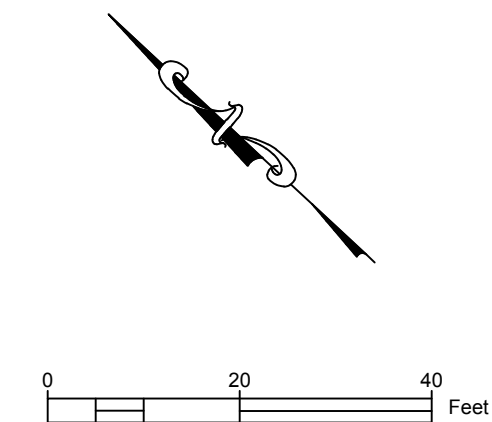
THE CONTRACTOR SHALL LOCATE ALL UTILITIES VIA A GOPHER STATE ONE CALL.

THE CONTRACTOR SHALL LOCATE PRIVATE UTILITIES, COORDINATING WITH THE OWNER.

THE CONTRACTOR SHALL INSTALL ALL EROSION CONTROL MEASURES BEFORE DISTURBING THE SITE.

CONTRACTOR SHALL PROTECT ALL EXISTING STRUCTURES NOT NOTED FOR DEMOLITION & REMOVAL DURING REMOVALS. ANY DAMAGED STRUCTURES TO REMAIN SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER.

ALL MATERIALS IDENTIFIED FOR REMOVAL SHALL BE DISPOSE OFF SITE IN ACCORDANCE WITH STATE AND LOCAL LAWS.



WIDSETH
 ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

BY: FRANK E. BRODEEN, PE
 DATE: 2/14/2023
 LIC. NO. 57780

DATE	REVISION DESCRIPTION

DATE: FEBRUARY 2023
 SCALE: AS SHOWN
 DRAWN BY: FEB
 CHECKED BY: TMH
 JOB NUMBER: 2022-11786

FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
 PUD PLAN SET
 CRYSTAL, MN
 EXISTING CONDITIONS AND REMOVALS PLAN

SHEET NO. **C1.13**

NOT FOR CONSTRUCTION

SITE: PARID: 0911821220020 & 091182122021
5208 HANSON COURT
CRYSTAL, MINNESOTA 55429
ZONE: INDUSTRIAL

OWNER: JDQ, LLC
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CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
5368 266TH ST
WYOMING, MN 55092
CONTACT: FRANK BRODEEN, PE
EMAIL: FRANK.BRODEEN@WIDSETH.COM
PH: (651)-358-2345

PARKING CALCULATIONS:

INDUSTRIAL REQUIREMENTS (WAREHOUSING):

4 SPACES + 1 SPACE FOR EACH 3,000 SQ FT.

MIN. SPACES REQUIRED = 4 + 1 (12,130 SQFT / 3,000 SQ FT) = 8.0 SPACES = 8 SPACES MIN.

COMMERCIAL REQUIREMENTS (OFFICE):

1 SPACE FOR EACH 500 SQ FT.

MIN. SPACES REQUIRED = 1 (1800 SQFT / 500 SQ FT) = 3.6 SPACES = 4 SPACES MIN.

TOTAL SPACES REQUIRED = 12 SPACES + 1 ACCESSIBLE SPACE

TOTAL SPACES PROVIDED: 14 SPACES + 1 ACCESSIBLE SPACE

LAND USE CALCULATIONS:

TOTAL PROPERTY = 0.94 ACRES

EXISTING IMPERVIOUS COVERAGE = 0.22 ACRES

PROPOSED IMPERVIOUS COVERAGE = 0.75 ACRES

BUILDING AREA = 13,930 SQ FT

SITE COVERAGE = 80%

GREEN SPACE = 20%

SITE PLAN NOTES:

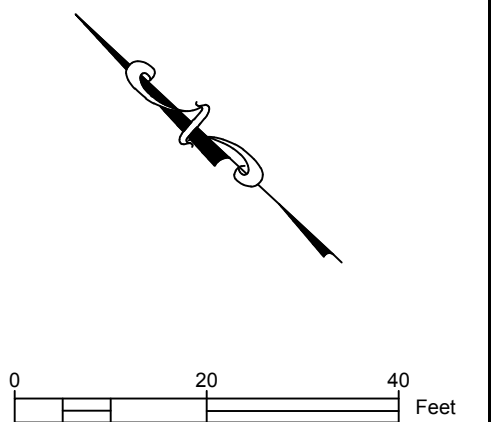
THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF CIASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

CONTRACTOR SHALL CALL GOPHER STATE ONE CALL PRIOR TO BEGINNING REMOVALS.

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER AND ENGINEER OF ANY DIFFERENCES BETWEEN THE FIELD AND THE PLAN.

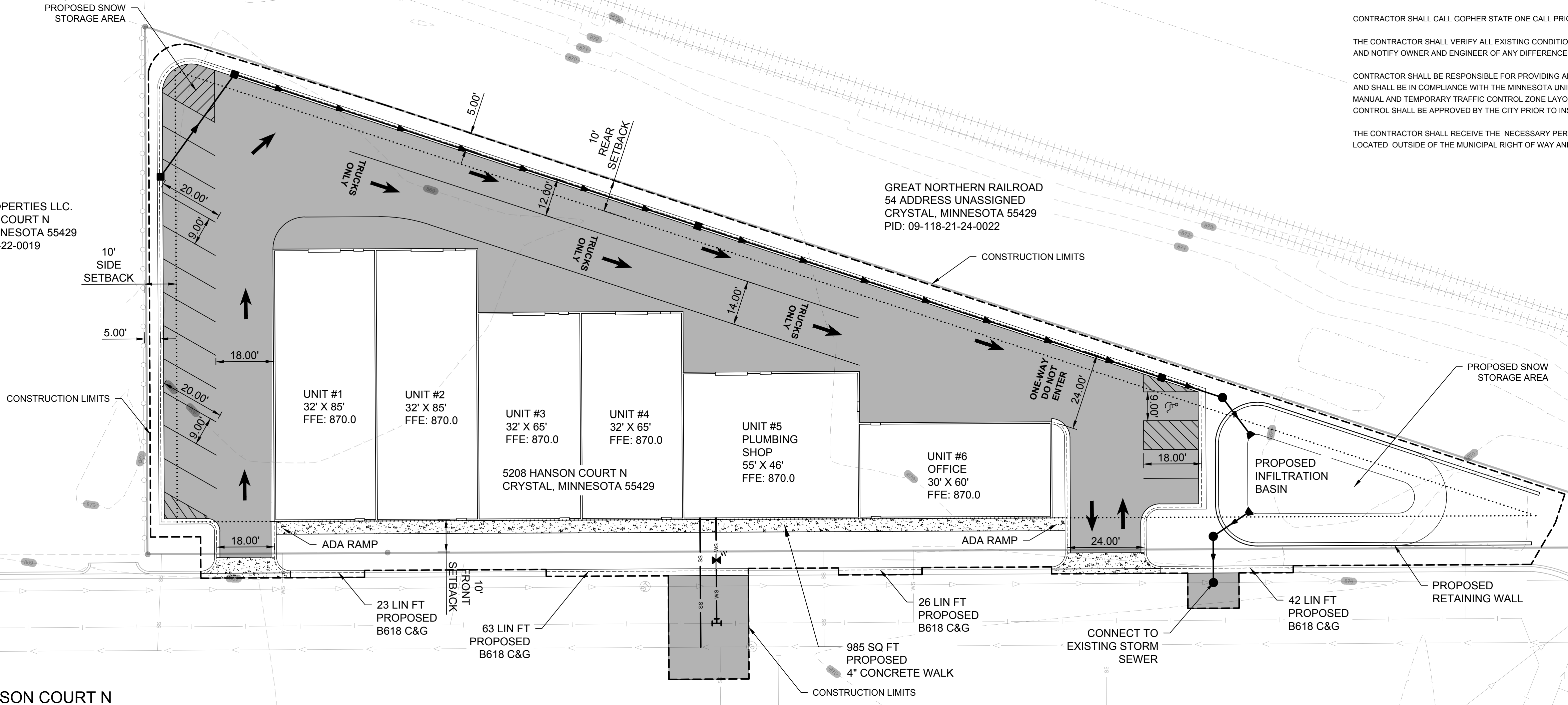
CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING TRAFFIC CONTROL AND SHALL BE IN COMPLIANCE WITH THE MINNESOTA UNIFORM TRAFFIC CONTROL DEVICES MANUAL AND TEMPORARY TRAFFIC CONTROL ZONE LAYOUTS FIELD MANUAL. THE TRAFFIC CONTROL SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION.

THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT OF WAY AND PROPERTY LIMITS.



CORYELL PROPERTIES LLC.
5224 HANSON COURT N
CRYSTAL, MINNESOTA 55429
PID: 09-118-21-22-0019

GREAT NORTHERN RAILROAD
54 ADDRESS UNASSIGNED
CRYSTAL, MINNESOTA 55429
PID: 09-118-21-24-0022



HANSON COURT N



ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.

NOT FOR CONSTRUCTION

NEWLY SUBMITTED PLAN OR SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DAILY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
FRANK E. BRODEEN DATE: 2/14/2023 LIC. NO. 57780

DATE	REVISION DESCRIPTION	BY

DATE: FEBRUARY 2023
SCALE: AS SHOWN
DRAWN BY: FEB
CHECKED BY: TMH
JOB NUMBER: 2022-11786

FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
PUD PLAN SET
CRYSTAL, MN
SITE PLAN

SITE: PARID: 0911821220020 & 091182122021
 5208 HANSON COURT
 CRYSTAL, MINNESOTA 55429
 ZONE: INDUSTRIAL

OWNER: JDQ, LLC
 18015 17TH AVE N
 PLYMOUTH, MN 55447
 CONTACT: JEFF QUINN
 EMAIL: JEFF@FARR.PLUMBING
 PH: (763) 432-9009

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
 5368 266TH ST
 WYOMING, MN 55092
 CONTACT: FRANK BRODEEN, PE
 EMAIL: FRANK.BRODEEN@WIDSETH.COM
 PH: (651)-358-2345

GENERAL CONSTRUCTION NOTES:

THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION AND NOTIFY OWNER OF ANY DIFFERENCES BETWEEN THE FIELD AND PLAN.
 UNLESS OTHERWISE NOTED, ALL MATERIALS, CONSTRUCTION TECHNIQUES AND TESTING SHALL CONFORM TO THE "STANDARD SPECIFICATIONS FOR CONSTRUCTION" AS PUBLISHED BY THE MINNESOTA DEPARTMENT OF TRANSPORTATION, 2020 EDITION. THE CONTRACTOR SHALL REQUIRE ALL PROCEDURES AS OUTLINED BY THE LOCAL AGENCY.
 THE CONTRACTOR SHALL RECEIVE THE NECESSARY PERMISSION/PERMITS FOR ALL WORK LOCATED OUTSIDE OF THE MUNICIPAL RIGHT-OF-WAY AND PROPERTY LIMITS.
 THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATIONS PRIOR TO BEGINNING CONSTRUCTION.

GRADING PLAN NOTES:

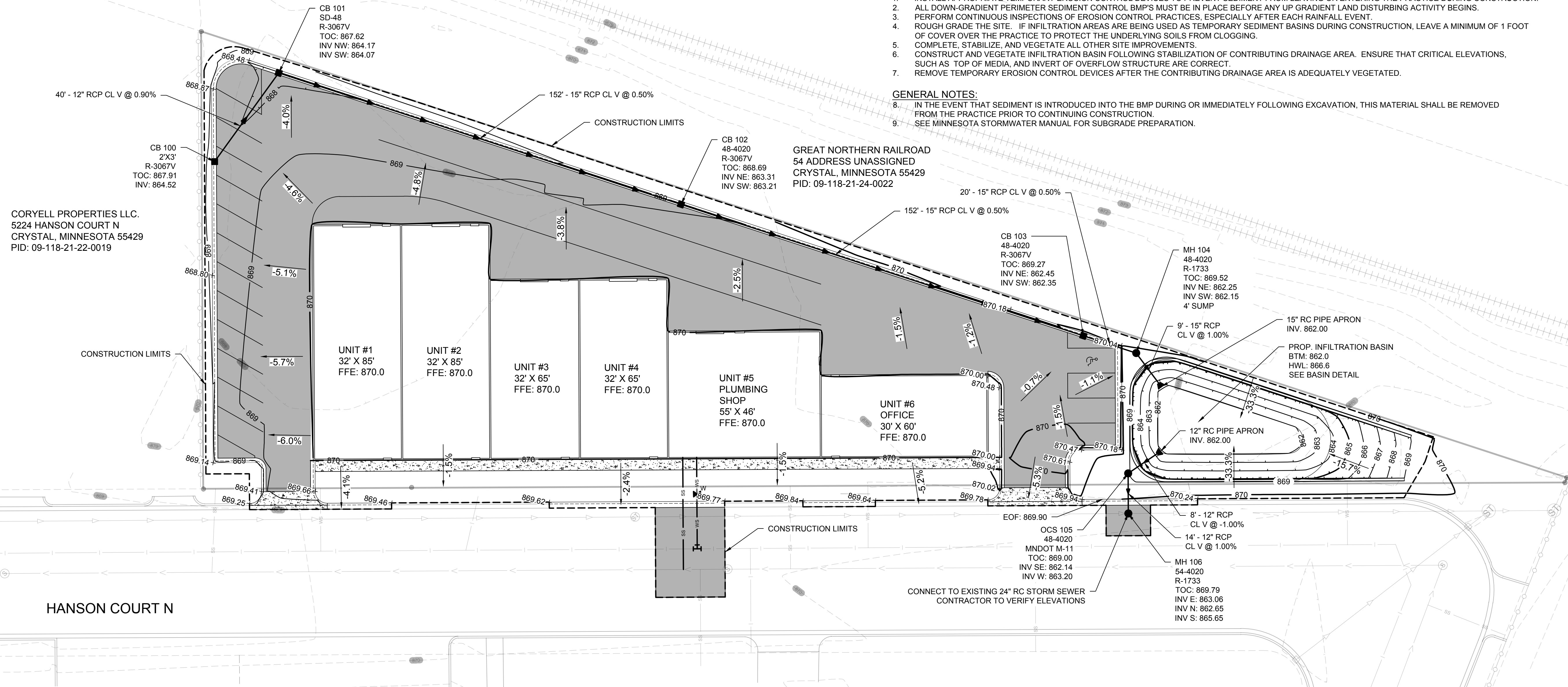
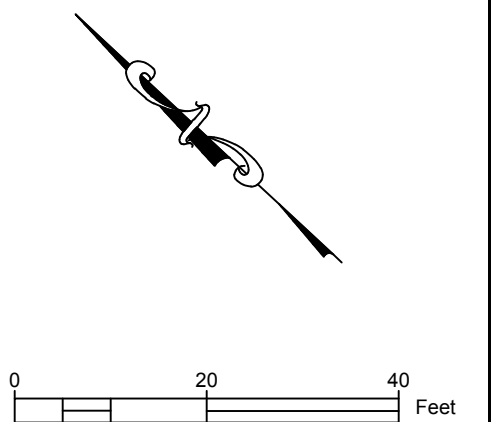
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 ALL CONSTRUCTION SHALL CONFORM TO LOCAL, STATE, AND FEDERAL REGULATIONS INCLUDING THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT REQUIREMENTS.
 HAULING HOURS MUST BE CONFIRMED WITH THE CITY PRIOR TO BEGINNING WORK.
 SPOT ELEVATIONS SHOWN INDICATE FINISHED SURFACE GRADE, UNLESS OTHERWISE NOTED.
 ALL SLOPES SHALL BE GRADED TO 3:1 OR FLATTER, UNLESS OTHERWISE NOTED ON THE PLANS.

PROPOSED INFILTRATION BASIN CONSTRUCTION SEQUENCING NOTES:

1. INSTALL APPROPRIATE TEMPORARY EROSION CONTROL DEVICES TO PREVENT SEDIMENT FROM LEAVING OR ENTERING THE PRACTICE DURING CONSTRUCTION.
2. ALL DOWN-GRADIENT PERIMETER SEDIMENT CONTROL BMP'S MUST BE IN PLACE BEFORE ANY UP GRADIENT LAND DISTURBING ACTIVITY BEGINS.
3. PERFORM CONTINUOUS INSPECTIONS OF EROSION CONTROL PRACTICES, ESPECIALLY AFTER EACH RAINFALL EVENT.
4. ROUGH GRADE THE SITE. IF INFILTRATION AREAS ARE BEING USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION, LEAVE A MINIMUM OF 1 FOOT OF COVER OVER THE PRACTICE TO PROTECT THE UNDERLYING SOILS FROM CLOGGING.
5. COMPLETE, STABILIZE, AND VEGETATE ALL OTHER SITE IMPROVEMENTS.
6. CONSTRUCT AND VEGETATE INFILTRATION BASIN FOLLOWING STABILIZATION OF CONTRIBUTING DRAINAGE AREA. ENSURE THAT CRITICAL ELEVATIONS, SUCH AS TOP OF MEDIA, AND INVERT OF OVERFLOW STRUCTURE ARE CORRECT.
7. REMOVE TEMPORARY EROSION CONTROL DEVICES AFTER THE CONTRIBUTING DRAINAGE AREA IS ADEQUATELY VEGETATED.

GENERAL NOTES:

8. IN THE EVENT THAT SEDIMENT IS INTRODUCED INTO THE BMP DURING OR IMMEDIATELY FOLLOWING EXCAVATION, THIS MATERIAL SHALL BE REMOVED FROM THE PRACTICE PRIOR TO CONTINUING CONSTRUCTION.
9. SEE MINNESOTA STORMWATER MANUAL FOR SUBGRADE PREPARATION.



CORYELL PROPERTIES LLC.
 5224 HANSON COURT N
 CRYSTAL, MINNESOTA 55429
 PID: 09-118-21-22-0019

GREAT NORTHERN RAILROAD
 54 ADDRESS UNASSIGNED
 CRYSTAL, MINNESOTA 55429
 PID: 09-118-21-24-0022

HANSON COURT N



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NOT FOR CONSTRUCTION
 FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
 PUD PLAN SET
 CRYSTAL, MN
 GRADING AND DRAINAGE PLAN
 SHEET NO. **C1.15**

WIDSETH
 ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

I AM A DAILY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
 FRANK E. BRODEEN
 DATE: 2/14/2023 LIC. NO. 57780

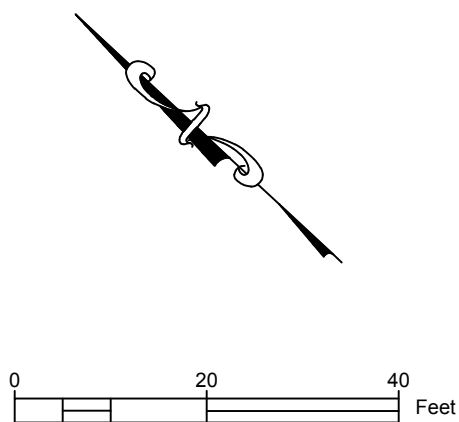
DATE	REVISION DESCRIPTION

DATE: FEBRUARY 2023
 SCALE: AS SHOWN
 DRAWN BY: FEB
 CHECKED BY: TMH
 JOB NUMBER: 2022-11786

SITE: PARID: 0911821220020 & 091182122021
 5208 HANSON COURT
 CRYSTAL, MINNESOTA 55429
 ZONE: INDUSTRIAL

OWNER: JDQ, LLC
 18015 17TH AVE N
 PLYMOUTH, MN 55447
 CONTACT: JEFF QUINN
 EMAIL: JEFF@FARR.PLUMBING
 PH: (763) 432-9009

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
 5368 266TH ST
 WYOMING, MN 55092
 CONTACT: FRANK BRODEEN, PE
 EMAIL: FRANK.BRODEEN@WIDSETH.COM
 PH: (651)-358-2345



CORYELL PROPERTIES LLC.
 5224 HANSON COURT N
 CRYSTAL, MINNESOTA 55429
 PID: 09-118-21-22-0019

GREAT NORTHERN RAILROAD
 54 ADDRESS UNASSIGNED
 CRYSTAL, MINNESOTA 55429
 PID: 09-118-21-24-0022

CONSTRUCTION LIMITS

UNIT #1
 32' X 85'
 FFE: 870.0

UNIT #2
 32' X 85'
 FFE: 870.0

UNIT #3
 32' X 65'
 FFE: 870.0

UNIT #4
 32' X 65'
 FFE: 870.0

UNIT #5
 PLUMBING
 SHOP
 55' X 46'
 FFE: 870.0

UNIT #6
 OFFICE
 30' X 60'
 FFE: 870.0

PROPOSED
 INFILTRATION
 BASIN

PROPOSED
 RETAINING WALL

PROP. 6" GATE VALVE AND BOX

HANSON COURT N

CONNECT TO EXISTING 8" VCP SANITARY SEWER
 PROP. 4" WYE
 40' - 4" PVC SANITARY SERVICE PIPE

CONNECT TO EXISTING 8" WATERMAIN
 PROP. 8" X 6" DIP TEE
 33' - 6" DIP CL 52 WATERMAIN



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NOT FOR CONSTRUCTION

WIDSETH
 ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

BY: FRANK BRODEEN
 DATE: 2/14/2023
 LIC. NO. 57780

DATE	REVISION DESCRIPTION

DATE: FEBRUARY 2023
 SCALE: AS SHOWN
 DRAWN BY: FEB
 CHECKED BY: TNH
 JOB NUMBER: 2022-11786

FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
 PUD PLAN SET
 CRYSTAL, MN
 UTILITY PLAN

SHEET NO.
C1.16

SITE: PARID: 0911821220020 & 091182122021
5208 HANSON COURT
CRYSTAL, MINNESOTA 55429
ZONE: INDUSTRIAL

OWNER: JDQ, LLC
18015 17TH AVE N
PLYMOUTH, MN 55447
CONTACT: JEFF QUINN
EMAIL: JEFF@FARR.PLUMBING
PH: (763) 432-9009

CIVIL ENGINEER: WIDSETH (WIDSETH SMITH NOLTING)
5368 266TH ST
WYOMING, MN 55092
CONTACT: FRANK BRODEEN, PE
EMAIL: FRANK.BRODEEN@WIDSETH.COM
PH: (651)-358-2345

CORYELL PROPERTIES LLC.
5224 HANSON COURT N
CRYSTAL, MINNESOTA 55429
PID: 09-118-21-22-0019

- LEGEND:**
- SILT-FENCE
 - SEDIMENT CONTROL LOG (BIOROLL)
 - SEED MIXTURE 25-131 @ 220 LBS/ACRE
FERTILIZER TYPE 3 @ 350 LBS/ACRE
REPP CATEGORY 15
 - SEED MIXTURE 33-261 @ 35 LBS/ACRE
FERTILIZER TYPE 3 @ 200 LBS/ACRE
REPP CATEGORY 10
 - ROCK CONSTRUCTION EXIT
 - RANDOM RIP RAP CL II
 - STORM DRAIN INLET PROTECTION

GENERAL CONSTRUCTION NOTES:

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TURF ESTABLISHMENT AND EROSION CONTROL PLAN NOTES:

THE SUBSURFACE UTILITY INFORMATION IN THIS PLAN IS UTILITY QUALITY LEVEL D. THIS QUALITY LEVEL WAS DETERMINED ACCORDING TO THE GUIDELINES OF C/ASCE 38-2, ENTITLED "STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA"

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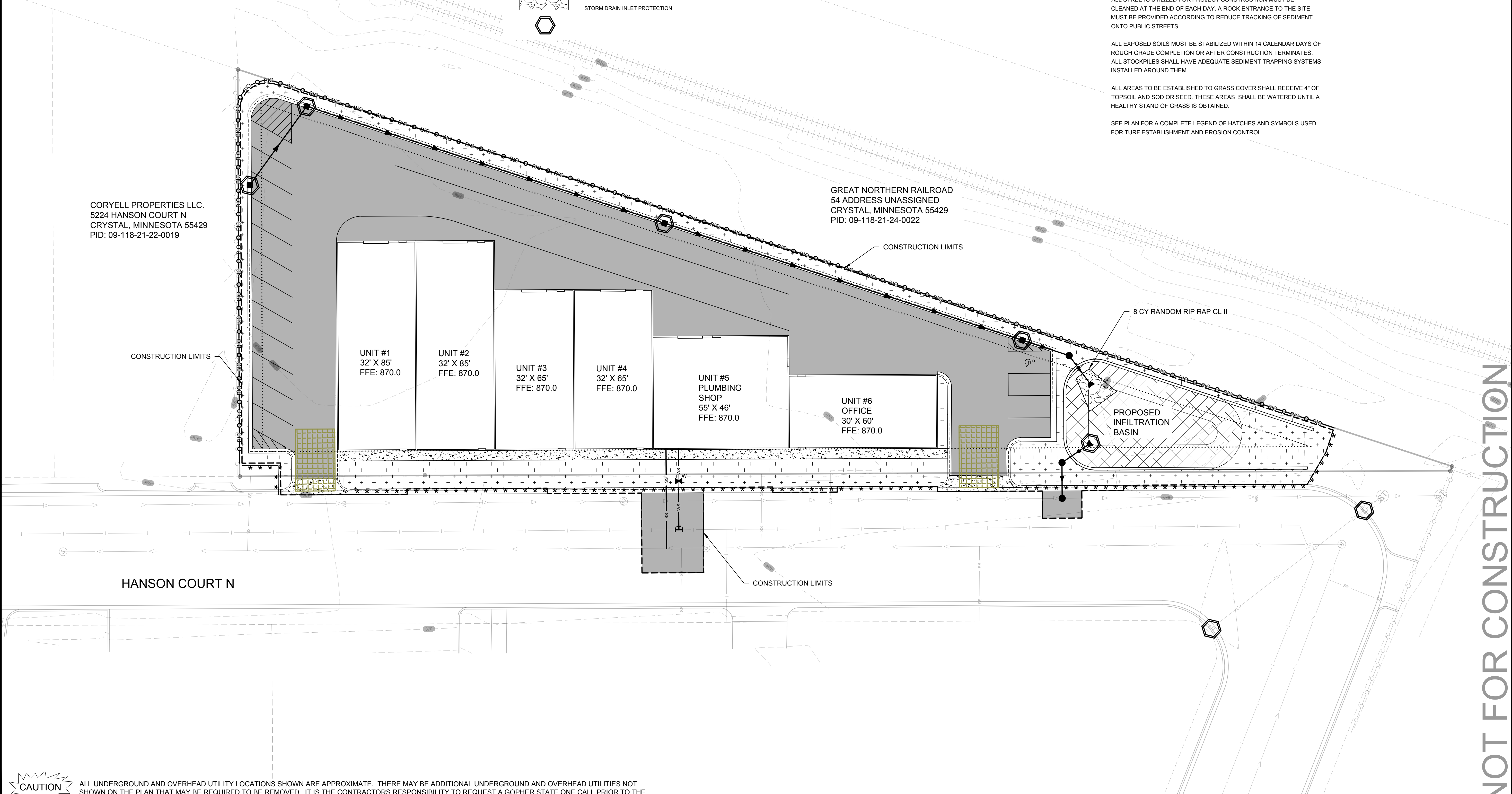
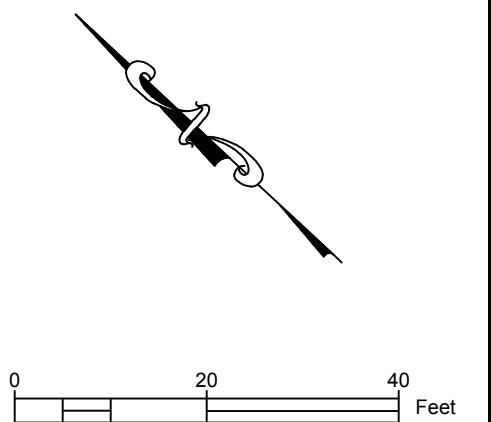
ALL SILT FENCE AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION/CONSTRUCTION AND SHALL BE MAINTAINED UNTIL VIABLE TURF OR GROUND COVER HAS BEEN ESTABLISHED. MAINTENANCE AND REMOVAL OF SEDIMENT CONTROL DEVICES SHALL BE INCIDENTAL TO THE GRADING CONTRACT

ALL STREETS UTILIZED FOR PROJECT CONSTRUCTION MUST BE CLEANED AT THE END OF EACH DAY. A ROCK ENTRANCE TO THE SITE MUST BE PROVIDED ACCORDING TO REDUCE TRACKING OF SEDIMENT ONTO PUBLIC STREETS.

ALL EXPOSED SOILS MUST BE STABILIZED WITHIN 14 CALENDAR DAYS OF ROUGH GRADE COMPLETION OR AFTER CONSTRUCTION TERMINATES. ALL STOCKPILES SHALL HAVE ADEQUATE SEDIMENT TRAPPING SYSTEMS INSTALLED AROUND THEM.

ALL AREAS TO BE ESTABLISHED TO GRASS COVER SHALL RECEIVE 4" OF TOPSOIL AND SOD OR SEED. THESE AREAS SHALL BE WATERED UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

SEE PLAN FOR A COMPLETE LEGEND OF HATCHES AND SYMBOLS USED FOR TURF ESTABLISHMENT AND EROSION CONTROL.



CAUTION ALL UNDERGROUND AND OVERHEAD UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRED TO BE REMOVED. IT IS THE CONTRACTORS RESPONSIBILITY TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION AND COORDINATE ALL WORK WITH THE RESPECTIVE UTILITY COMPANIES.

NOT FOR CONSTRUCTION

WIDSETH
ARCHITECTS • ENGINEERS • SCIENTISTS • SURVEYORS

DATE: FEBRUARY 2023
SCALE: AS SHOWN
DRAWN BY: FEB
CHECKED BY: TMH
JOB NUMBER: 2022-11796

FARR PLUMBING - PROPOSED WAREHOUSE PROJECT
PUD PLAN SET
CRYSTAL, MN
TURF ESTABLISHMENT AND EROSION CONTROL PLAN

SHEET NO. **C1.17**

BY: FRANK BRODEEN, PE
REVISIONS DESCRIPTION
DATE
DATE: 2/14/2023 LIC. NO. 57780

REV#	DATE	DESCRIPTION

JEFF QUIN 763-432-9009
OWNER jeff@farr.plumbing
FARR PLUMBING & HEATING



DRAWN BY: KG CHECKED BY: JA

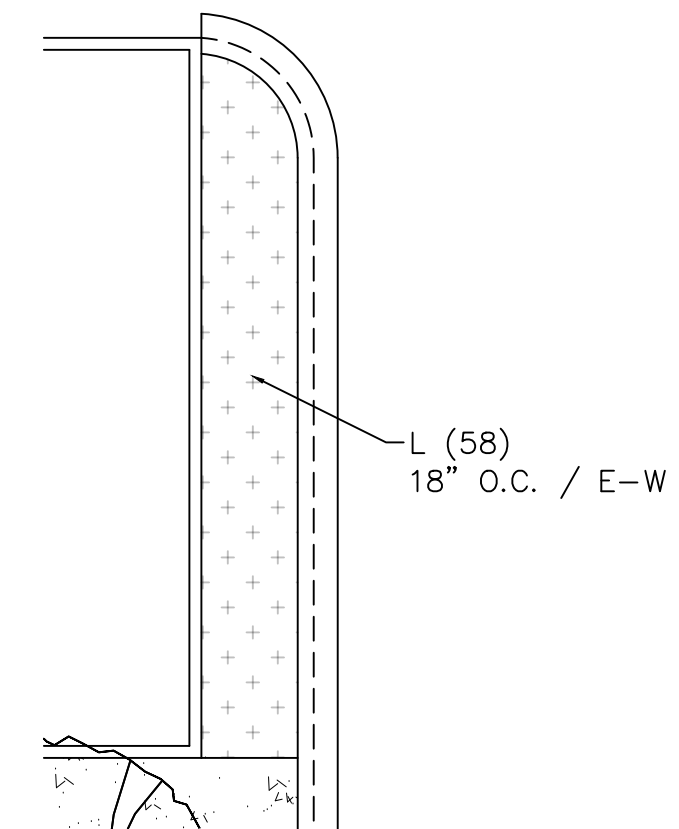
Becklin & Whitney
Consulting Engineers, Inc.
139 1st Ave. E, Suite 100
P.O. Box 471
Cambridge, MN 55008
Ph: 763-689-5631
office.becklinwhitney@gmail.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

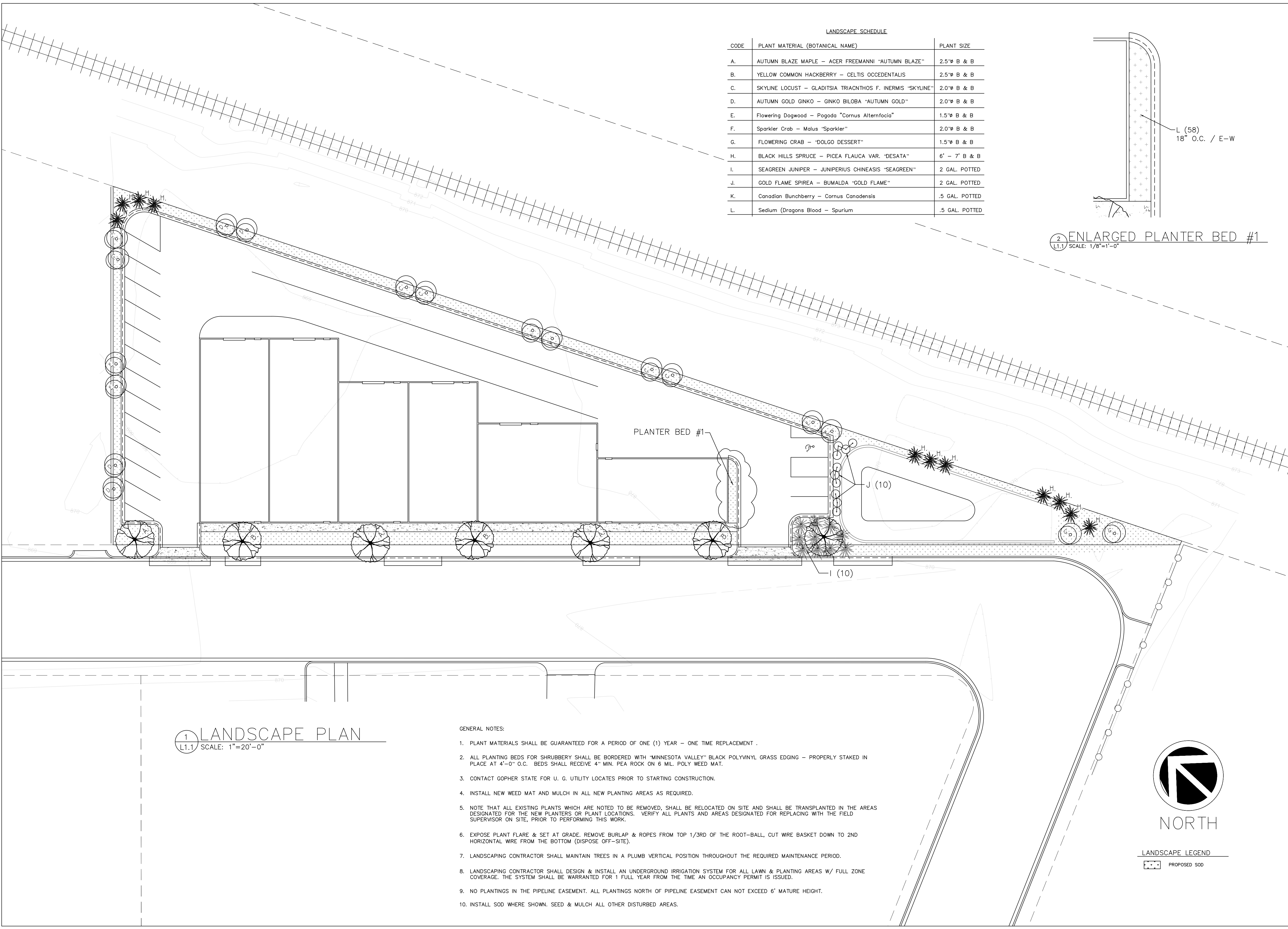
Jerry W. Anderson
Jerry W. Anderson License # 13639
Date: February 14, 2023

LANDSCAPE SCHEDULE

CODE	PLANT MATERIAL (BOTANICAL NAME)	PLANT SIZE
A.	AUTUMN BLAZE MAPLE - ACER FREEMANNI "AUTUMN BLAZE"	2.5" B & B
B.	YELLOW COMMON HACKBERRY - CELTIS OCCIDENTALIS	2.5" B & B
C.	SKYLINE LOCUST - GLADITSIA TRIACNTHOS F. INERMIS "SKYLINE"	2.0" B & B
D.	AUTUMN GOLD GINKO - GINKO BILOBA "AUTUMN GOLD"	2.0" B & B
E.	Flowering Dogwood - Pogoda "Cornus Alternifolia"	1.5" B & B
F.	Sparkler Crab - Malus "Sparkler"	2.0" B & B
G.	FLOWERING CRAB - "DOLGO DESSERT"	1.5" B & B
H.	BLACK HILLS SPRUCE - PICEA FLAUCA VAR. "DESATA"	6' - 7' B & B
I.	SEAGREEN JUNIPER - JUNIPERIUS CHINEASIS "SEAGREEN"	2 GAL. POTTED
J.	GOLD FLAME SPIREA - BUMALDA "GOLD FLAME"	2 GAL. POTTED
K.	Canadian Bunchberry - Cornus Canadensis	.5 GAL. POTTED
L.	Sedium (Dragons Blood - Spurium	.5 GAL. POTTED



2 ENLARGED PLANTER BED #1
L1.1 SCALE: 1/8"=1'-0"



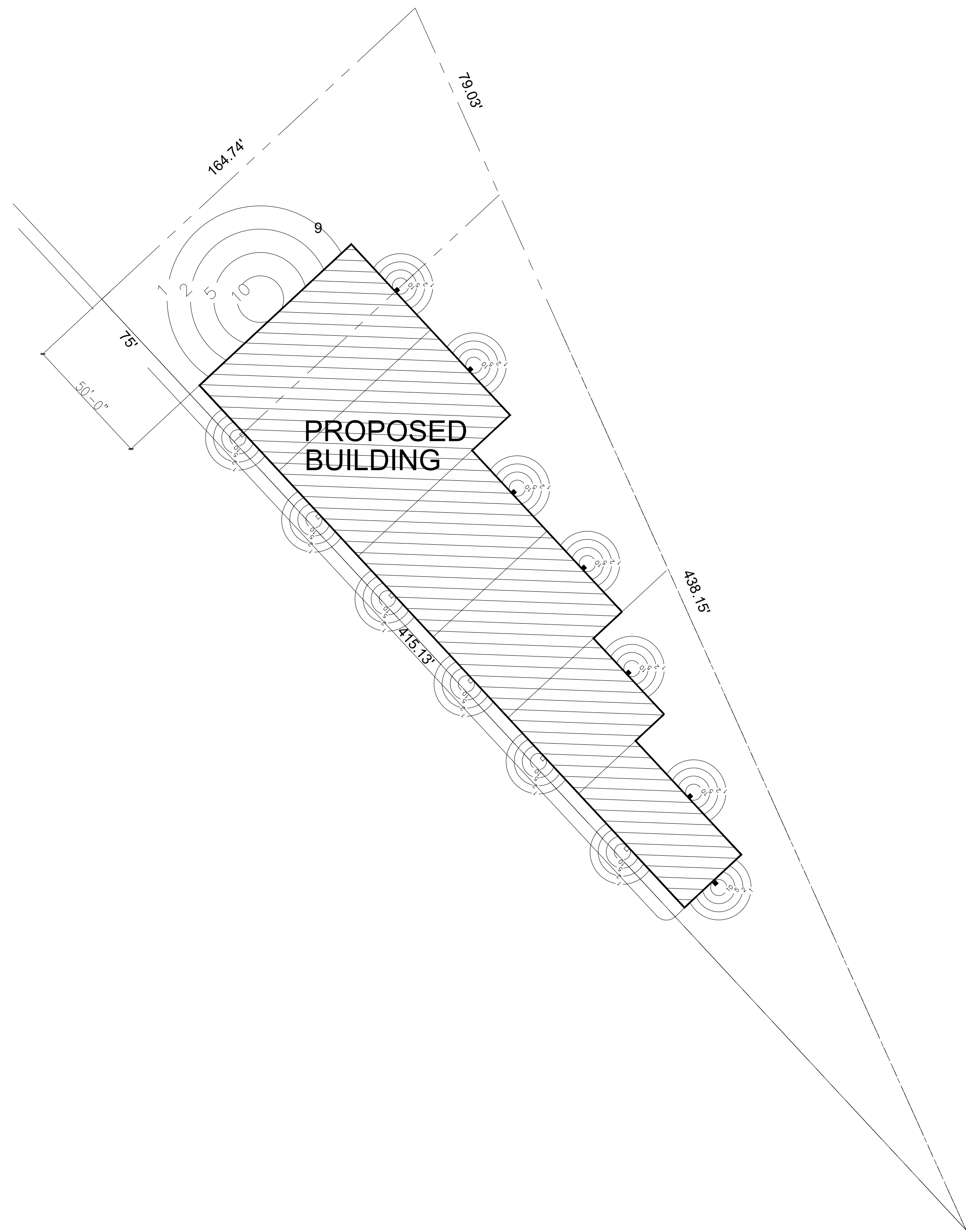
1 LANDSCAPE PLAN
L1.1 SCALE: 1"=20'-0"

GENERAL NOTES:

1. PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR - ONE TIME REPLACEMENT .
2. ALL PLANTING BEDS FOR SHRUBBERY SHALL BE BORDERED WITH "MINNESOTA VALLEY" BLACK POLYVINYL GRASS EDGING - PROPERLY STAKED IN PLACE AT 4'-0" O.C. BEDS SHALL RECEIVE 4" MIN. PEA ROCK ON 6 MIL. POLY WEED MAT.
3. CONTACT GOPHER STATE FOR U. G. UTILITY LOCATES PRIOR TO STARTING CONSTRUCTION.
4. INSTALL NEW WEED MAT AND MULCH IN ALL NEW PLANTING AREAS AS REQUIRED.
5. NOTE THAT ALL EXISTING PLANTS WHICH ARE NOTED TO BE REMOVED, SHALL BE RELOCATED ON SITE AND SHALL BE TRANSPLANTED IN THE AREAS DESIGNATED FOR THE NEW PLANTERS OR PLANT LOCATIONS. VERIFY ALL PLANTS AND AREAS DESIGNATED FOR REPLACING WITH THE FIELD SUPERVISOR ON SITE, PRIOR TO PERFORMING THIS WORK.
6. EXPOSE PLANT FLARE & SET AT GRADE. REMOVE BURLAP & ROPES FROM TOP 1/3RD OF THE ROOT-BALL, CUT WIRE BASKET DOWN TO 2ND HORIZONTAL WIRE FROM THE BOTTOM (DISPOSE OFF-SITE).
7. LANDSCAPING CONTRACTOR SHALL MAINTAIN TREES IN A PLUMB VERTICAL POSITION THROUGHOUT THE REQUIRED MAINTENANCE PERIOD.
8. LANDSCAPING CONTRACTOR SHALL DESIGN & INSTALL AN UNDERGROUND IRRIGATION SYSTEM FOR ALL LAWN & PLANTING AREAS W/ FULL ZONE COVERAGE. THE SYSTEM SHALL BE WARRANTED FOR 1 FULL YEAR FROM THE TIME AN OCCUPANCY PERMIT IS ISSUED.
9. NO PLANTINGS IN THE PIPELINE EASEMENT. ALL PLANTINGS NORTH OF PIPELINE EASEMENT CAN NOT EXCEED 6' MATURE HEIGHT.
10. INSTALL SOD WHERE SHOWN. SEED & MULCH ALL OTHER DISTURBED AREAS.



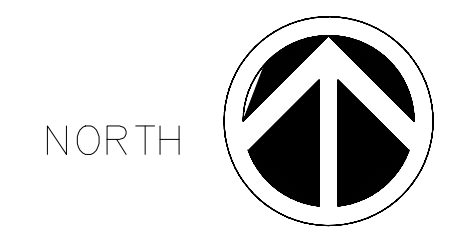
LANDSCAPE LEGEND
[Symbol] PROPOSED SOD



1
E-1

LIGHTING PLAN

1" = 30'-0"



Project

FARR PLUMBING

5208 HANSON COURT
CRYSTAL, MN 55429

OWNER / CONTACT

FARR PLUMBING LLC

Commission Number	Date
23-1-033	02/14/23

Drawn	Checked	WB
KJ		

Becklin & Whitney
Consulting Engineers, Inc.
139 1st Ave. E, Suite 100
P.O. Box 471
Cambridge, MN 55008
Phone: (763) 689-5631
Fax: (763) 552-5631

DATE: FEBRUARY 14, 2023

Sheet Name

**LIGHTING PLAN
PRELIMINARY**

Sheet

E-1

PROJECT:
OFFICE WAREHOUSE

OWNER:
JEFF QUINN
ADDRESS:
5208 AND 5216 HANSON COURT
CRYSTAL, MN.

CONTRACTOR:
FARR PLUMBING & HEATING
CONTACT: JEFF QUINN
PHONE: 763-432-9009
E-MAIL: jeff@farr.plumbing

PLANS PROVIDED BY:

SCHWIETERS HOME DESIGN
1628 COUNTY HIGHWAY 10 N.E.
SPRING LAKE PARK, MN 55432

TEL: (763) 785-2105
SchHomDsgn@aol.com

CONCEPT PLAN
JANUARY 25, 2023

ENGINEERING PROVIDED BY:

**BECKLIN & WHITNEY
CONSULTING ENGINEERS, INC.**

139 1ST AVE E., SUITE 100
P.O. BOX 471
CAMBRIDGE, MN. 55008

TEL: (763) 689-5631
FAX: (763) 552-5631

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA

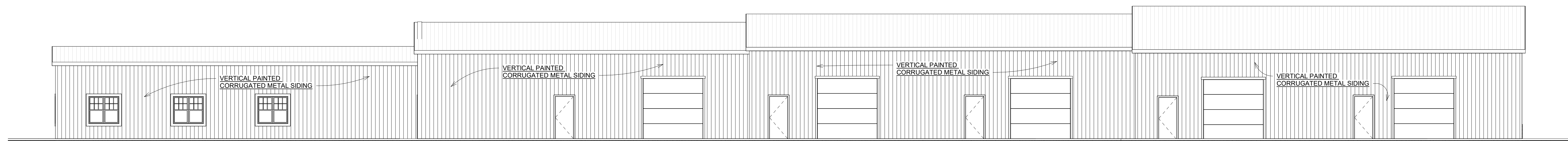
WILLIAM A. BECKLIN, P.E.
DATE: 01/25/2023 REG. NO. 18494

DATE: 01/25/2023 DRAWN: DICK S.
JOB NO. 02276 CHECKED: R.J.S.

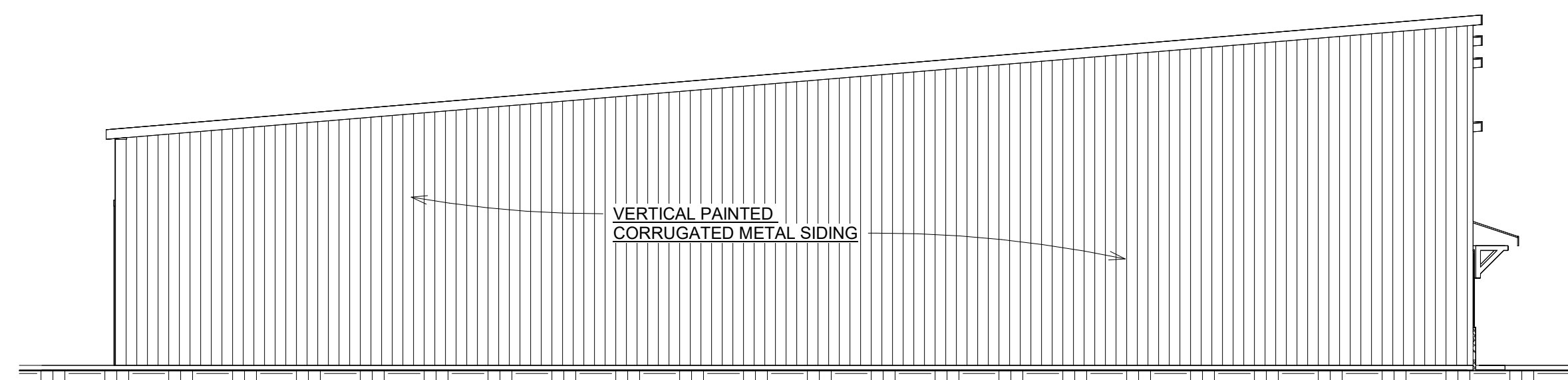
RRR ELEVATIONS

SCALE: 1/8" = 1'-0"

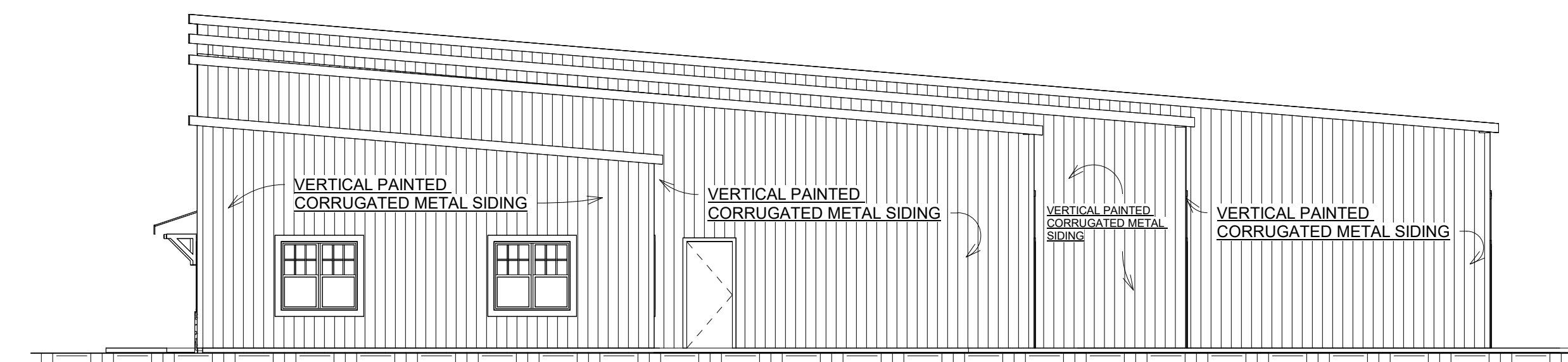
PAGE NO: **-1**



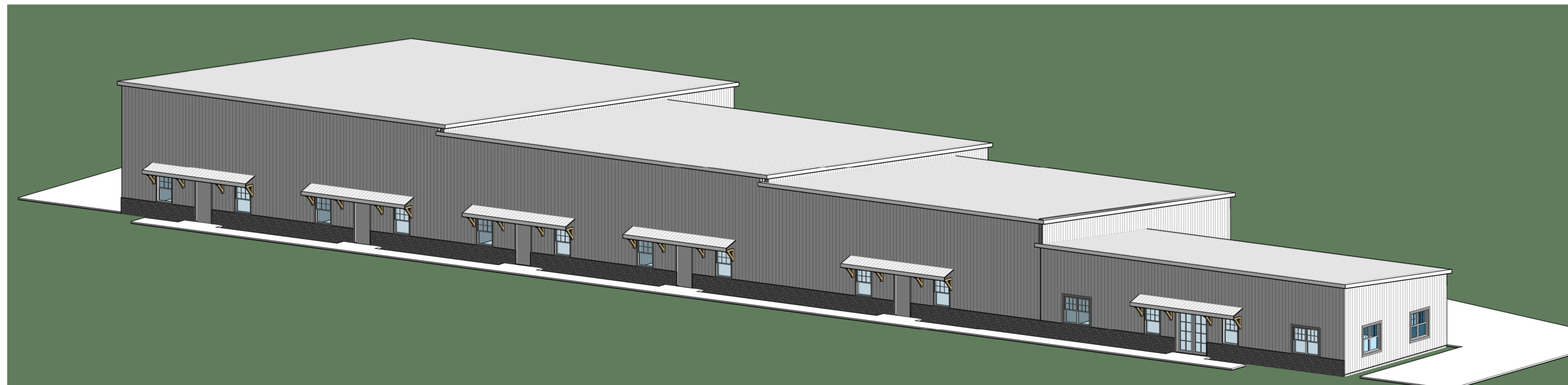
2 NORTH EAST ELEVATION
A-1 1/8" = 1'-0"



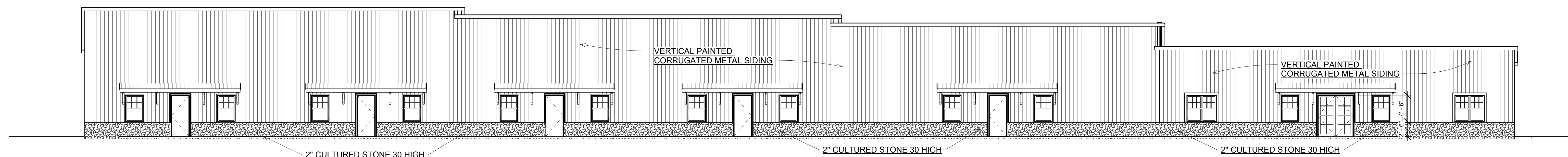
4 NORTH WEST ELEVATION
A-1 1/8" = 1'-0"



3 SOUTH EAST ELEVATION
A-1 1/8" = 1'-0"



5 3-D PERSPECTIVE SOUTH VIEW
A-1



1 SOUTH WEST ELEVATION
A-1 1/8" = 1'-0"

SHEET INDEX	
S1	STRUCTURAL ELEVATIONS
S2	FLOOR PLAN
S3	SECTION

PROJECT:
OFFICE WAREHOUSE

OWNER:
JEFF QUINN
ADDRESS:
5208 AND 5216 HANSON COURT
CRYSTAL, MN.

CONTRACTOR:
FARR PLUMBING & HEATING
CONTACT: JEFF QUINN
PHONE: 763-432-9009
E-MAIL: jeff@farr.plumbing

PLANS PROVIDED BY:

SCHWIETERS HOME DESIGN
1628 COUNTY HIGHWAY 10 N.E.
SPRING LAKE PARK, MN 55432
TEL: (763) 785-2105
SchHomDsgn@aol.com

CONCEPT PLAN
JANUARY 25, 2023

ENGINEERING PROVIDED BY:

**BECKLIN & WHITNEY
CONSULTING ENGINEERS, INC.**

139 1ST AVE E., SUITE 100
P.O. BOX 471
CAMBRIDGE, MN. 55008

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FAX: (763) 552-5631

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION
AND THAT I AM A DULY LICENSED
PROFESSIONAL ENGINEER UNDER THE
LAWS OF THE STATE OF MINNESOTA

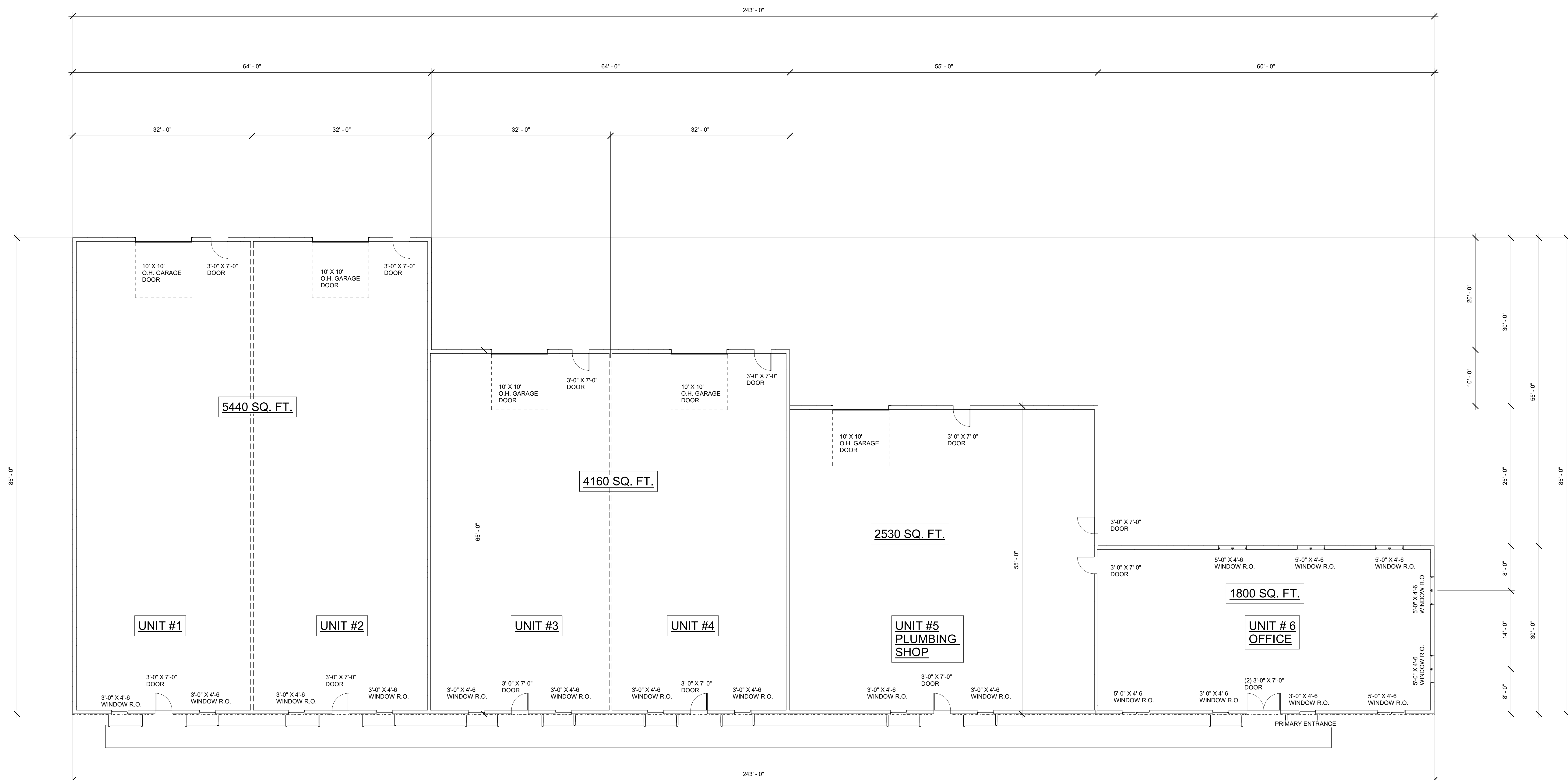
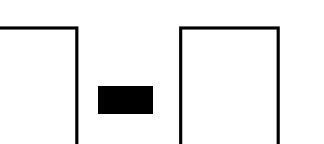
WILLIAM A. BECKLIN, P.E.
DATE: 01/25/2023 REG. NO. 18494

DATE: 01/25/2023 DRAWN: DICK S.
JOB NO. 02276 CHECKED: R.J.S.

MAIN FLOOR PLAN
13,930 SQ. FT.

SCALE: 1/8" = 1'-0"

PAGE NO:



1 MAIN FLOOR
A-3 1/8" = 1'-0"

PROJECT:
OFFICE WAREHOUSE

OWNER:
JEFF QUINN
ADDRESS:
5208 AND 5216 HANSON COURT
CRYSTAL, MN.

CONTRACTOR:
FARR PLUMBING & HEATING
CONTACT: JEFF QUINN
PHONE: 763-432-9009
E-MAIL: jeff@farr.plumbing

PLANS PROVIDED BY:

SCHWIETERS HOME DESIGN
1628 COUNTY HIGHWAY 10 N.E.
SPRING LAKE PARK, MN 55432

TEL: (763) 785-2105
SchHomDsgn@aol.com

CONCEPT PLAN

JANUARY 25, 2023

ENGINEERING PROVIDED BY:

**BECKLIN & WHITNEY
CONSULTING ENGINEERS, INC.**

139 1ST AVE E., SUITE 100
P.O. BOX 471
CAMBRIDGE, MN. 55008

TEL: (763) 689-5631
FAX: (763) 552-5631

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WILLIAM A. BECKLIN, P.E.
DATE: 01/25/2023 REG. NO. 18494

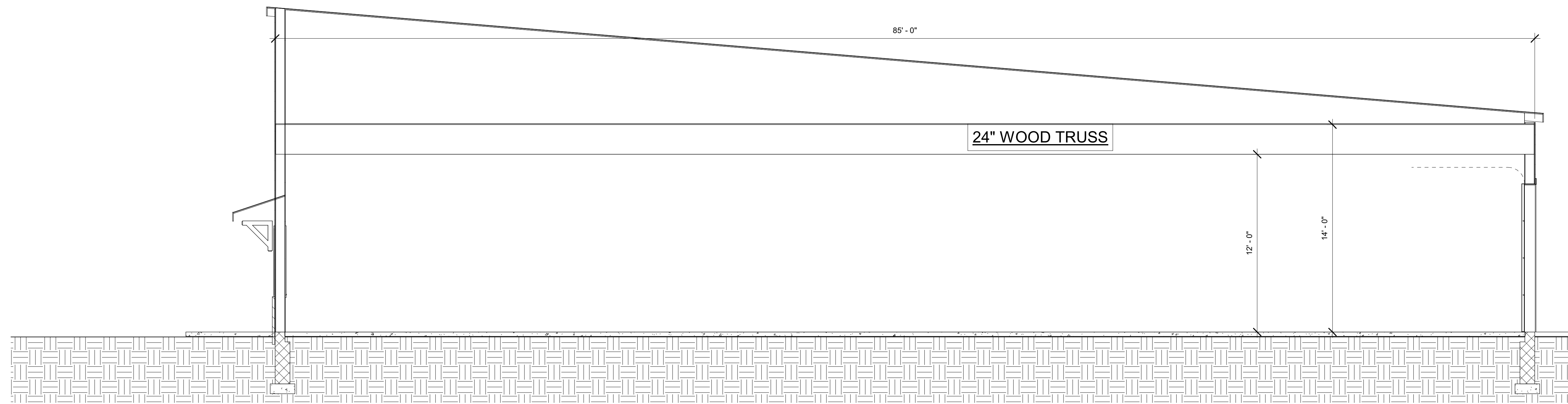
DATE: 01/25/2023 DRAWN: DICK S.
JOB NO. 02276 CHECKED: R.J.S.

SECTIONS

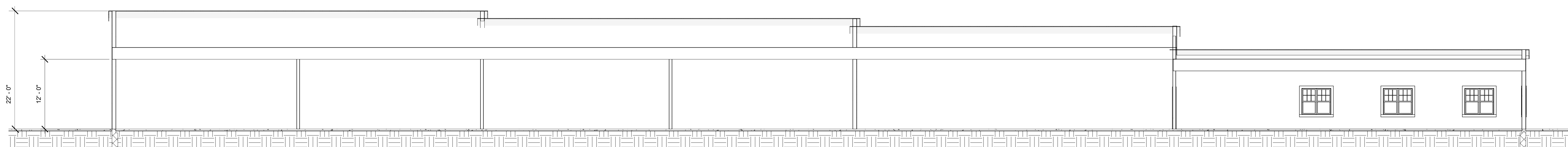
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PAGE NO:

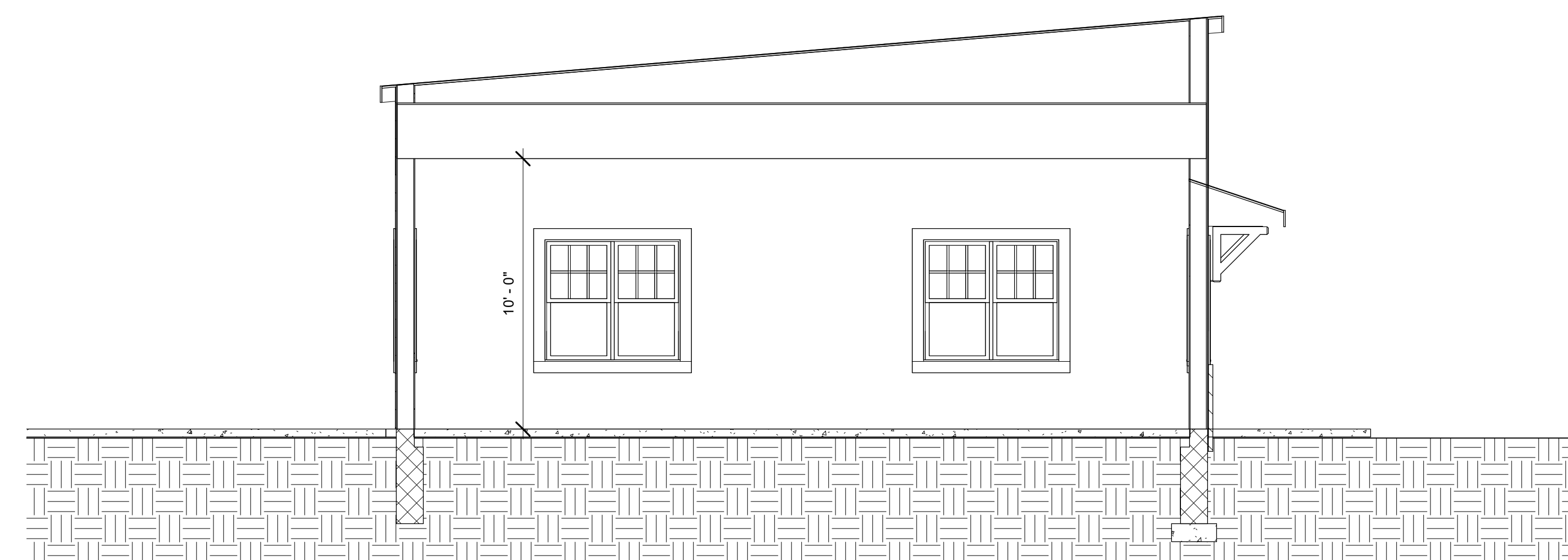
-3



1 SECTION THRU WAREHOUSE WIDTH
1/4" = 1'-0"



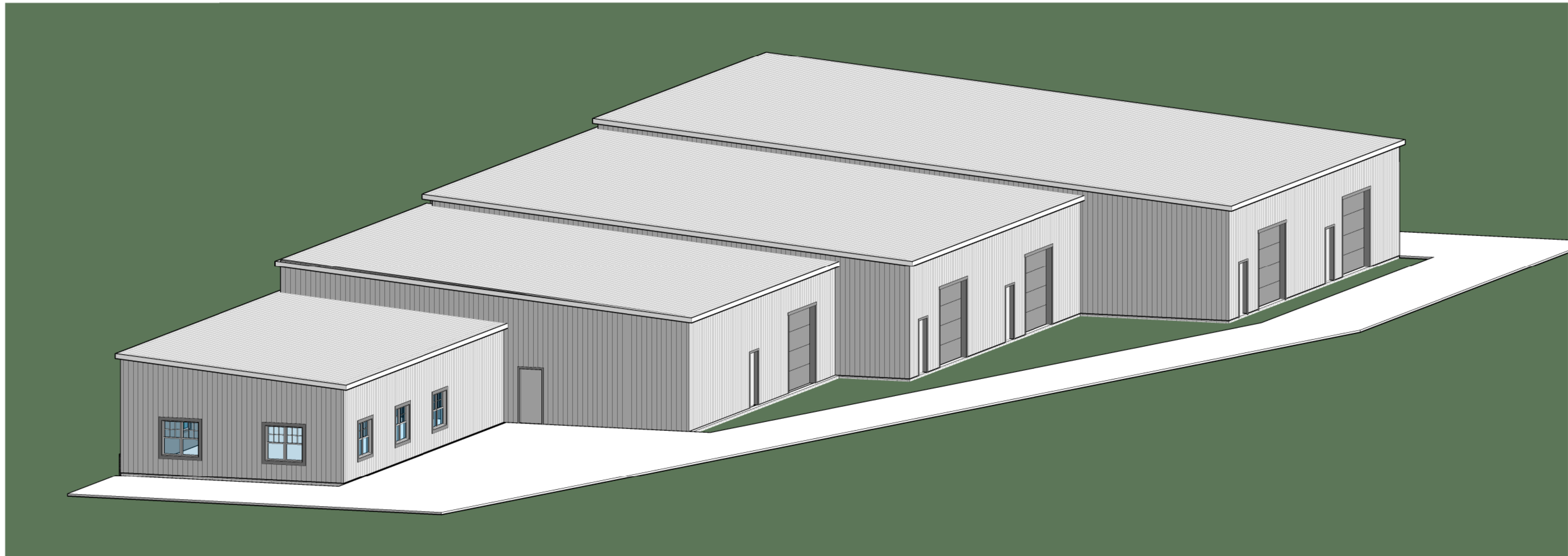
2 SECTION THRU OFFICE WAREHOUSE
1/8" = 1'-0"



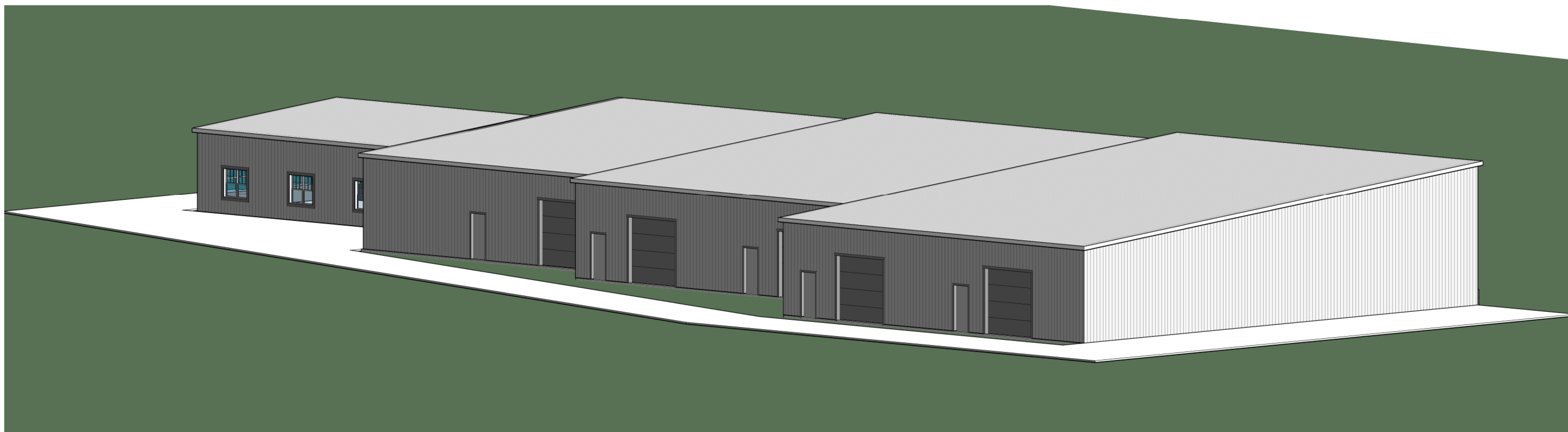
3 SECTION THRU OFFICE
1/4" = 1'-0"



3 3-D PERSPECTIVE NORTH VIEW
D-1



2 3-D PERSPECTIVE EAST VIEW
D-1



1 3-D PERSPECTIVE WEST VIEW
D-1

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DATE: 01/25/2023 DRAWN: DICK S.
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3-D PERSPECTIVES

SCALE:

PAGE NO:

D-1